

LORD HOWE ISLAND BOARD

Development Application

Section 4.12, Environmental Planning and Assessment Act 1979

Date Received:

Development Application No.:DA2024.3.1..... Date Lodged:17/06/2024.....

Use this form to apply for development consent to:

- Erect, alter or demolish a building or structure;
- Change the use of land or a building;
- Subdivide land;
- Display an advertisement;
- Any other development that requires consent from the Lord Howe Island Board.

To minimise delay in receiving a decision about your application, please ensure you submit all relevant information. To complete the form, please place a cross in the boxes and fill out the sections provided as appropriate. When your application has been assessed, you will receive a Notice of Determination. If you need help please phone or call the Board's office and discuss your queries with a development officer.

APPLICANT DETAILS

Mr Mrs Ms Other: Miss

Name: Chloe McCarthy on behalf of Gai Wilson

Organisation: Room on Fire ABN: [REDACTED]

Postal Address: Somerset Apartments, [REDACTED]

Telephone: [REDACTED] Fax:

Email: [REDACTED]

OWNER CONSENT

Has Owner Consent been issued? Yes No Owner Consent No.:

Owners Consent is being issued in conjunction with the development application as per the Board's advice

IDENTIFY THE LAND YOU PROPOSE TO DEVELOP

Portion/Lot No.: 362 Deposited Plan No.: 1101462

Lease No.: 1954.12

Address: 1 Neds Beach Road, Lord Howe Island, NSW, 2898

PROPOSED DEVELOPMENT

<p>Describe the proposed development; give a detailed outline of what you are going to do. If it involves a building, indicated what it will be used for.</p> <p><i>The proposed works involve the upgrade of the existing Somerset Wastewater System. Due to the size of the facility, the disperse nature of the built structure and the seasonal fluctuation of visitor numbers, Somerset's wastewater will continue to be serviced by multiple wastewater treatment systems. There will be two (2) individual treatment systems of varying sizes and design.</i></p> <p><i>Wastewater hydraulic loads have been calculated by Brad Josephs, LHIB A/MIES, from the published effluent values in the LHI Onsite Wastewater Management Strategy (OWMS) and associated Design Guidelines and AS/NZS 1457:2012 Onsite Wastewater Management. All occupancy rates, water uses and water usage (as appropriate) have been supplied by Gai Wilson and Civcon Water Services PTY LTD.</i></p> <p>Building Material: NA Roofing Material: NA</p>

PAST/PRESENT LAND USES

State the past known uses of the site: Tourist accommodation

State the present known uses of the site: Tourist accommodation

STAGED DEVELOPMENT

You can apply for development consent for only part of your proposal now, and for the remaining part/s at a later time.

Are you applying for development consent in stages? Yes No

If yes please attach:

- Information which describes the stages of your development;
- A copy of any development consents you already have which relate to your development.

PLANS OF THE LAND AND DEVELOPMENT

You need to provide a number of different plans that show what you intend to do. Step 4 of the Development Application Guide sets out which plans to provide and the details to include. Please submit 1 copy of the plans with the application. Please attach:

- A site plan of the land, drawn to scale;
- Plans or drawings of the proposal, drawn to scale and, where relevant;
- An A4 size plan of the proposed building and other structures on the site;
- A plan of any existing buildings (and uses), drawn to scale.

ENVIRONMENTAL EFFECTS OF YOUR DEVELOPMENT

To assess your proposal, we need to understand the impacts it will have. Depending upon the nature and scale of your proposal, you need to provide one or more of the statements listed below to explain the environmental effects of your proposal.

Is your proposal likely to cause a major environmental impact (e.g. designated development)?

- Yes Please attach an environmental impact statement.
 No Please attach a statement of environmental effects (SEE).

Is your proposal likely to cause have significant effect on threatened species, populations, ecological communities or their habitats?

- Yes Please attach a species impact statement.
 No

SUPPORTING INFORMATION

You can support your application with additional material such as photographs (including aerial photographs), slides and models to illustrate your proposal.

Please list what you have attached.

Please refer to the attached Somerset Wastewater Proposal for a detailed analysis of the proposed wastewater system upgrade including an overview of works and proposed wastewater system, water balance and storage calculations, soil analysis, options analysis and site plan.

NOTE: It will be necessary for you to place pegs showing the location of all building extremities and height of buildings within seven days of lodging your development application. These pegs will allow inspection by Board staff at an early stage of your development assessment.

APPLICATION FEE

For development that involves a building or other work, the fee for your application is based on the estimated cost of the development. If your development needs to be advertised to the public you may also need to include an advertising fee. Clauses 246 to 263 of the Environmental Planning and Assessment Regulation 2000 provide a schedule of fees.

NOTE: Fees will be calculated in accordance with Cordell's Building estimates and will form the basis for the fee. To save time and any delays in processing your application, please contact us if you need help to calculate the fee for your application.

Estimated cost of the development: \$150,000 - \$200,000 fees based on \$200k as is the amount lodged on portal
Total fees lodged: \$1345.00 Date: 17/06/2024 Receipt No.: 26573

APPLICANT/S OR APPLICANT'S AGENT DECLARATION

Have you or any associated persons with a financial interest in this application in the last two years made any political donations or given any gifts to any local Board Member or Board employee? Yes No

If you ticked yes please fill out a Political Donations and Gift Disclosure Statement.

IMPORTANT NOTICE: It is an offence under the EP&A Act 1979 if you fail to disclose reportable donations and gifts.

LEASEHOLDER AUTHORISATION - All leaseholder/s of the land must sign this application.

As the leaseholder/s of the above property, I/we consent to this application.

Signature: [Redacted] Signature: [Redacted]
Name: CAJ WILSON Name: Angus Murray - Executor
Date: 26-3-2025 Date: 02/04/24

APPLICANT AUTHORISATION - The applicant/s or the applicant's agent must sign the application.

I apply for consent to carry out the development described in this application. I declare that all the information given is true and correct. I also understand that, if incomplete, the application may be delayed or rejected and more information may be requested within 21 days of lodgement.

Signature: [Redacted] Signature: [Redacted]
Name: Chloe McCarthy Name: [Redacted]
Date: 23.04.24 Date: [Redacted]

State the capacity in which you are signing if you are not the applicant: Designer who has assisted in lodging the DA

PRIVACY POLICY

The information you provide in this application will enable us, and any relevant state agency, to assess your application under the Environmental Planning and Assessment Act 1979 and other applicable state legislation. If the information is not provided, your application may not be accepted.

If your application is for designated development or advertised development, it will be available for public inspection and copying during a submission period. Your application, and any attached plans will be published on the Lord Howe Island Board website. Written notification of the application will also be provided to the neighbourhood. You have the right to access and have corrected information provided in your application. Please ensure that the information is accurate and advise us of any changes.

APPLICATION FEE

For development that involves a building or other work, the fee for your application is based on the estimated cost of the development. If your development needs to be advertised to the public you may also need to include an advertising fee. Clauses 246 to 263 of the Environmental Planning and Assessment Regulation 2000 provide a schedule of fees.

NOTE: Fees will be calculated in accordance with Cordell's Building estimates and will form the basis for the fee. To save time and any delays in processing your application, please contact us if you need help to calculate the fee for your application.

Estimated cost of the development:

Total fees lodged: Date: Receipt No.:

APPLICANT/S OR APPLICANT'S AGENT DECLARATION

Have you or any associated persons with a financial interest in this application in the last two years made any political donations or given any gifts to any local Board Member or Board employee? Yes No

If you ticked yes please fill out a Political Donations and Gift Disclosure Statement.

IMPORTANT NOTICE: It is an offence under the EP&A Act 1979 if you fail to disclose reportable donations and gifts.

LEASEHOLDER AUTHORISATION – All leaseholder/s of the land must sign this application.

As the leaseholder/s of the above property, I/we consent to this application.

Signature: [Redacted]	Signature: [Redacted]
Name: <u>GIA WILSON</u>	Name: <u>PP C.L. SIMPSON (STOLES)</u>
Date: <u>26-3-2025</u>	Date: <u>26.3.2024</u>

APPLICANT AUTHORISATION – The applicant/s or the applicant's agent must sign the application.

I apply for consent to carry out the development described in this application. I declare that all the information given is true and correct. I also understand that, if incomplete, the application may be delayed or rejected and more information may be requested within 21 days of lodgement.

Signature:	Signature:
Name:	Name:
Date:	Date:

State the capacity in which you are signing if you are not the applicant:

PRIVACY POLICY

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APPLICATION FEE

For development that involves a building or other work, the fee for your application is based on the estimated cost of the development. If your development needs to be advertised to the public you may also need to include an advertising fee. Clauses 246 to 263 of the Environmental Planning and Assessment Regulation 2000 provide a schedule of fees.

NOTE: Fees will be calculated in accordance with Cordell's Building estimates and will form the basis for the fee. To save time and any delays in processing your application, please contact us if you need help to calculate the fee for your application.

Estimated cost of the development:
Total fees lodged: Date: Receipt No.:

APPLICANT/S OR APPLICANT'S AGENT DECLARATION

Have you or any associated persons with a financial interest in this application in the last two years made any political donations or given any gifts to any local Board Member or Board employee? Yes No

If you ticked yes please fill out a Political Donations and Gift Disclosure Statement.

IMPORTANT NOTICE: It is an offence under the EP&A Act 1979 if you fail to disclose reportable donations and gifts.

LEASEHOLDER AUTHORISATION – All leaseholder/s of the land must sign this application.

As the leaseholder/s of the above property, I/we consent to this application.

Signature: [Redacted] Signature: [Redacted]
Name: GIA WILSON Name: PP: K M STOKES
Date: 26-3-2025 Date: 26.3.2024

APPLICANT AUTHORISATION – The applicant/s or the applicant's agent must sign the application.

I apply for consent to carry out the development described in this application. I declare that all the information given is true and correct. I also understand that, if incomplete, the application may be delayed or rejected and more information may be requested within 21 days of lodgement.

Signature: Signature:
Name: Name:
Date: Date:

State the capacity in which you are signing if you are not the applicant:

PRIVACY POLICY

The information you provide in this application will enable us, and any relevant state agency, to assess your application under the Environmental Planning and Assessment Act 1979 and other applicable state legislation. If the information is not provided, your application may not be accepted.

If your application is for designated development or advertised development, it will be available for public inspection and copying during a submission period. Your application, and any attached plans will be published on the Lord Howe Island Board website. Written notification of the application will also be provided to the neighbourhood. You have the right to access and have corrected information provided in your application. Please ensure that the information is accurate and advise us of any changes.

APPLICATION FEE

For development that involves a building or other work, the fee for your application is based on the estimated cost of the development. If your development needs to be advertised to the public you may also need to include an advertising fee. Clauses 245 to 263 of the Environmental Planning and Assessment Regulation 2000 provide a schedule of fees.

NOTE: Fees will be calculated in accordance with Cordell's Building estimates and will form the basis for the fee. To save time and any delay in processing your application, please contact us if you need help to calculate the fee for your application.

Estimated cost of the development:

Total fees lodged: Date: Receipt No.:

APPLICANT/S OR APPLICANT'S AGENT DECLARATION

Have you or any associated persons with a financial interest in this application in the last two years made any political donations or given any gifts to any local Board Member or Board employee? Yes No

If you ticked yes please fill out a Political Donations and Gift Disclosure Statement.

IMPORTANT NOTICE: It is an offence under the EP&A Act 1979 if you fail to disclose reportable donations and gifts.

LEASEHOLDER AUTHORISATION – All leaseholder/s of the land must sign this application.

As the leaseholder/s of the above property, I/we consent to this application.

Signature: [Redacted]

Signature: [Redacted]

Name: Michael Murray on behalf of Peter Murray ANVA

Name: Michael Murray on behalf of Peter Murray

Date: 12/6/24

Date: 12/6/24

APPLICANT AUTHORISATION – The applicant/s or the applicant's agent must sign the application.

I apply for consent to carry out the development described in this application. I declare that all the information given is true and correct. I also understand that, if incomplete, the application may be delayed or rejected and more information may be requested within 21 days of lodgement.

Signature:

Signature:

Name:

Name:

Date:

Date:

State the capacity in which you are signing if you are not the applicant:

PRIVACY POLICY

The information you provide in this application will enable us, and any relevant state agency, to assess your application under the Environmental Planning and Assessment Act 1979 and other applicable state legislation. If the information is not provided, your application may not be accepted.

If your application is for designated development or advertised development, it will be available for public inspection and copying during a submission period. Your application, and any attached plans will be published on the Lord Howe Island Board website. Written notification of the application will also be provided to the neighbourhood. You have the right to access and have corrected information provided in your application. Please ensure that the information is accurate and advise us of any changes.

Documentation provided with an application may also be accessed in accordance with the requirements of the Government Information Access (GIPA) Act 2009.

LODGEMENT

Before submitting your application, please ensure you have attached all the information the consent authority needs to assess your proposal. You can use the following checklist. Please place a cross in the box next to any items you have attached:

Plans

- A site plan of the land — **all applications**
- Plans or drawings of the proposal showing all dimensions — **all applications**
- An A4 size plan of the proposed building and other structures on the site - **all applications**
- A plan which is drawn to scale of all existing buildings.

Environmental effects

- An environmental impact statement for a designated development proposal and an electronic version of the executive summary
- A statement of environmental effects — **required for all applications** that are not designated development
- An environmental report — **if required under clause 42 of the LHI LEP 2010**. Contact the Board to see if you need to prepare an environmental report.
- A species impact statement
- A Basix Certificate – The Building Sustainability Index (BASIX) applies to all residential dwelling types and is part of the development application process in NSW. A BASIX certificate **MUST** be obtained for “**BASIX affected development**”. For further information please refer to www.basix.nsw.gov.au
- Electrical supply form must be completed (for new / alteration / addition to existing supply).

Staged development

- Information which describes the stages of the development
- A copy of any consents already granted for part of the development

Supporting information

- Other material to support your application, such as photos, slides and models. *Please ensure any items listed as an Advisory Note as part of the Owner Consent approval have been addressed.*

Application fee

- Your application fee — **required for all applications.**

Where to lodge your application

You can lodge your completed application form, together with attachments and fees at the Lord Howe Island Board’s office.

CONTACT DETAILS FOR YOUR INFORMATION

Lord Howe Island Board

Bowker Avenue
(PO Box 5)
LORD HOWE ISLAND NSW 2898
Phone: 02 6563 2066
Fax: 02 6563 2127
Email: administration@lhib.nsw.gov.au
Website: www.lhib.nsw.gov.au

Lord Howe Island Marine Park Authority

Phone: 02 6563 2359
Fax: 02 6563 2367
Email: lordhowe.marinepark@npws.nsw.gov.au
Website: www.mpa.nsw.gov.au

Department of Infrastructure, Planning and Natural

Resources – General Enquiries

Phone: 02 9228 6111
Email: infocentre@dipnr.nsw.gov.au
Website: www.dipnr.nsw.gov.au

Department of Infrastructure, Planning and Natural Resources – North Coast Office

49 Victoria Street
(PO Box 6)
GRAFTON NSW 2460
Phone: 02 6642 0622
Email: northcoast@dipnr.nsw.gov.au
Website: www.dipnr.nsw.gov.au
BASIX Certificate: www.basix.nsw.gov.au

LORD HOWE ISLAND BOARD

Statement of Environmental Effects

A Statement of Environmental Effects must be completed and submitted with your development application, this is a requirement under the *Environmental Planning & Assessment Act 1979*. The Statement of Environmental Effects report explains the likely impacts of the development proposal taking into consideration relevant planning and environmental matters. If you require any clarification about what information needs to be included, please contact the Board's office on (02) 6563 2066.

Failure to submit a completed Statement of Environmental Effects report will result in the development application being rejected or incurring unnecessary delays before the application can be determined.

APPLICANT DETAILS

Name: Chloe McCarthy on behalf of Gai Wilson (Somerset)

Signed: [REDACTED] Date: 29.01.2025

PROPOSED DEVELOPMENT

Portion/Lot No.: Lot 362 Deposited Plan No.: DP 1101462

Lease No.: PL:1954.12

Address: Somerset Apartments, [REDACTED]

Please tick the type/s of development you are applying for:

- | | |
|------------------------------------------------------|----------------------------------------------------------------------|
| <input type="checkbox"/> Dwelling House | <input type="checkbox"/> Shed or Garage |
| <input type="checkbox"/> Additions to Dwelling House | <input type="checkbox"/> Dual Occupancy |
| <input type="checkbox"/> Home Business | <input type="checkbox"/> Additions to Dual Occupancy |
| <input type="checkbox"/> Commercial | <input type="checkbox"/> Subdivision including Boundary Realignments |

Other – please describe: Wastewater System Upgrade

DEVELOPMENT DESIGN ATTRIBUTES

EXISTING BUILDINGS

What buildings and/or structures already exist on the subject site? Existing structures located on the subject site (including their gross floor area where applicable) as well as adjoining properties need to be shown on a site plan. Please show floor space.

This DA solely relates to the upgrade of the existing wastewater system currently servicing Somerset Apartments. The upgrade of two systems is proposed: System 1 services the 'Hibiscus' and 'Sarong' accommodation while System 2 services the 'Main House', 'Laundry' and 'Frangipani' accommodation. For further detail, please refer to the proposed Site Plan, On-site Wastewater Treatment for Somerset Apartments prepared by Civcon, Scope of Works document and the Construction Management Plan prepared by All Island Trading.

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DEVELOPMENT CONSENTS

If known, please list previous development and building approvals for the last 10 years which are considered relevant to this application. If necessary please consult Board staff.

DA Number	Development Description	Date of Consent

OWNERS CONSENT

Please provide the reference number for the Owners Consent application. Please confirm that all conditions of owners consent have been met for this development application.

Owner's consent was submitted in conjunction with the DA as per the LHIB's advice.....

DEVELOPMENT REQUIREMENTS

DWELLINGS/RESIDENTIAL

Does your development comply with the **maximum gross floor area** and the **minimum dwelling area** (under Clause 20 & 23 LHI Local Environmental Plan 2010)? If yes, this must be demonstrated below.

NA.....

Please specify if your development complies with the enlargements or extensions of a dwelling (under clause 27 LHI Local Environmental Plan 2010)? If yes, this must be demonstrated below.

NA.....

COMMERCIAL

Please specify if your development complies with the requirements in Clause 22 for tourist accommodation, staff accommodation and commercial premises? If yes, this must be demonstrated below.

NA.....

ALL BUILDINGS – MAXIMUM BUILDING HEIGHT

Please specify if your development complies with the maximum building height (under clause 29 LHI LEP 2010)? If yes, this must be demonstrated below.

NA.....

SUBDIVISION

Please specify if your development complies with the subdivision requirements under clause 21 of LHI LEP 2010? If yes, this must be demonstrated below.

.....
NA
.....

ZONING

Does your development meet the objectives of the zone in which the site is in? Please provide how the development meets these objectives (clause 13-19 LHI LEP 2010).

The proposed wastewater system upgrade meets the objective of Part 2 Clause 14 "Zone 2 Settlement". The proposed wastewater upgrade does not affect any existing setbacks, visual amenity or landscaped character. Further, there's an adequate area available for the proposed effluent wastewater irrigation area. (see site plan), the wastewater upgrade will not affect groundwater quality and extensive care..... (including craning in new tank) will be undertaken during installation of new tanks to avoid any environmental damage and protect species growing within SNV areas.
.....

ENERGY EFFICIENCY

Does the development achieve the minimum BASIX requirements? To determine whether a BASIX certificate needs to be submitted with your application, please refer to www.basix.nsw.gov.au/information/index.jsp. Each development application for a residential dwelling and each development application for alterations and additions must have a BASIX certificate.

.....
NA
.....

BOUNDARY SETBACKS

How far is your development setback from the front boundary?

The only 'development' taking place is the upgrade of the existing wastewater system. Apart from the System 2 'Frangipani' system (in which the proposed system will be placed directly next to the existing system) and the new 5000LT pump well to be installed behind the existing Laundry, each proposed wastewater system will take the exact place of an existing system. System 1 'Hibiscus' System is set back approximately 2m from the Ned's Beach Road boundary and is located within SNV. While System 1 'Hibiscus' System is set back only approximately 2m from the Ned's Beach Road boundary, this is the location of the existing tank which needs to be replaced and is the most viable location for the new replacement tank to be installed. The tank will not be visible from the road and by undertaking careful installation methods, including craning the new system up and over the SNV zone, it is expected that no native vegetation within SNV will be negatively impacted during installation. Refer to the construction management plan for more detailed information regarding machinery access in SNV zone and steps to avoid damage to any native vegetation.

How far is your development setback from the side and rear boundaries?

System 1 'Sarong' System is set back about 17m from the side boundary and is also located in SNV. System 2 'Frangipani' System is located approximately 6m from the closest boundary. System 2 'Main House' is located about 17m from the nearest boundary while System 2 'Laundry' is set back at least 27m from the nearest site boundary. With the exception of the new Laundry tank, these systems are all being installed in existing or adjacent (Frangipani system) locations.
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Does the development comply with the Board's minimum setback requirements? If no, provide reasons why the development should be supported?

The location of the two new tanks closest to site boundaries (Hibiscus and Frangipani) are being installed in the exact same place as the existing tanks. Both sites are the only viable location for each system upgrade.
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LANDSCAPING

Please specify if the development complies with the landscaping requirements for Zone 2 land (clause 33 LHI LEP 2010)? If yes, this must be demonstrated below.

The Somerset wastewater system upgrade proposes replacing existing septic tanks with new tanks in the same (or adjacent) location. As such, replacement of the tanks will not change the existing landscaped character of the site, and tanks will not be noticeably visible after installation. While two tanks that are to be replaced are currently located within SNV zones (Hibiscus and Sarong systems) the Construction Management Report and Site Plan demonstrate how damage or removal of mapped SNV is to be specifically minimised. The only native vegetation that will be impacted within SNV during installation is two young palms (no trunks yet) that can be easily replanted.

LAND ADJACENT TO ZONE 7 OR 8

Please specify if your development complies with the requirements for land adjacent to Zone 7 or 8 (under clause 34 LHI LEP 2010)? If yes, this must be demonstrated below.

Two existing septic tanks that are to be replaced are currently located within SNV zones (System 1 Hibiscus and System 1 Sarong systems). The Site plan and Construction Management Plan demonstrate in detail how damage or removal of mapped SNV is to be specifically avoided in both these areas. In relation to replacement of the existing System 1 Hibiscus system near Ned's Beach Road the replacement septic tank will be installed from the rear of the SNV area (grass area near units) and craned up and over the SNV so that no native vegetation will be negatively impacted during installation. Trimming of one non-native frangipani tree within resort (non SNV) will be required to allow for safe work area. Regarding replacement of the existing System 1 Sarong system the site plan shows the route that will be used to avoid any adverse impact on any vegetation within the SNV zone during installation of the Sarong septic unit. Any existing debris to be removed from the area in small pieces by hand/ barrow. Refer to construction Management plan for more information. Trimming and removal of small portion of Caliper hedges (non SNV), removal of two frangipani trees (non SNV), removal of two small palm trees (1.4cm dia – no trunk - within SNV - to be re planted) will be required. Some fishbone ferns within SNV zone may also be impacted by machinery, but will naturally regenerate.

CONSTRAINTS

FORESHORE DEVELOPMENT

Is your land within the foreshore development area? If yes, please how the development complies with foreshore development requirements (Clause 35 LHI LEP 2010).

NA
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AIRCRAFT NOISE

Is your land subject to the Australian Noise Exposure Forecast? If yes, the development may need to include an Acoustic Report with the application.

NA
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.....
.....

FLOODING

Is your land flood prone? If yes, what measures will be undertaken to ensure that:

- water is efficiently drained from your property without impacting upon any adjoining neighbours.
- the proposed development will not be adversely affected by flooding.

NA
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.....

HERITAGE

Is the development listed as a heritage item, located in a heritage conservation area or located adjacent to any known heritage item or archaeological site? If yes, a Statement of Heritage Impact and referral to NSW Heritage Branch may be required.

NA

SIGNIFICANT VEGETATION

Will the development require the removal of any vegetation in areas mapped as 'significant vegetation' in LHI LEP 2010 Sheet 3 as well as the proposed 'significant vegetation' map on exhibition? If yes, the proposed development may be prohibited.

Two existing septic tanks that need to be removed and replaced are located within SNV zones: the System 1 Hibiscus tank and the System 1 Sarong Tank. The only viable place to install each new system is in the exact position where the current tanks are located once they are carefully removed. In relation to replacement of the existing System 1 Hibiscus system near Ned's Beach Road, the replacement septic tank will be installed from the rear of the SNV area (grass area near units) and craned up and over the SNV so that no native vegetation will be negatively impacted during installation. Trimming of one non-native frangipani tree within resort (non SNV) will be required to allow for safe work area. Regarding replacement of the existing System 1 Sarong system the site plan shows the route that will be used to avoid any adverse impact on any vegetation within the SNV zone during installation of the Sarong septic unit. Any existing debris to be removed from the area in small pieces by hand/ barrow. Refer to construction Management plan for more information. Trimming and removal of small portion of Caliper hedges (non SNV), removal of two frangipani trees (non SNV), removal of two small palm trees (1.4cm dia – no trunk - within SNV - to be re planted) will be required. Some fishbone ferns within SNV zone may also be impacted by machinery, but will naturally regenerate. Due to the current amount of infrastructure on Lot 362 and being surrounded by road reserve and private land, its proposed to house the irrigation area within SNV. Somerset current has approximately 3900 square meters of SNV available for irrigation. Options paper supports the installation of the irrigation area within SNV. The treated effluent will be disinfected with chlorine prior to discharge to the irrigation fields throughout existing SNV (see attached site plan). Refer to Civcon's report for further detail.

RETENTION OF TREES AND LANDSCAPING

Will the development require the removal of any native trees and/or shrubs? If yes, please specify how many trees/shrubs need to be removed and indicate their location on the site/landscape plan.

Hibiscus site: trimming 1 x frangipani tree to allow safe work area (not SNV – planted by Somerset)
Sarong site: trimming and some removal of Caliper hedges (non SNV – planted by Somerset); removal of 2 frangipani trees (non SNV – planted by Somerset), removal of 2 small palm trees (1.4cm – no trunk) to be re planted (within SNV).
Some fishbone ferns within SNV zone may be impacted by machinery but will naturally regenerate
Frangipani site: trimming of 2 frangipanis (non NSV – planted by Somerset) to allow for machinery movement of work area
Main House & Laundry sites: installation sites are lawn areas within resort (non NSV) – no vegetation requiring removal

RECOVERY PLANS AND HABITAT AREAS

Is the development consistent with approved Recovery Plans for the island? Does the development have any impacts on threatened species? If the answer to this question is yes then an Environmental Report, a seven part test or a Species Impact Statement may be required (Clause 42 of LHI Local Environment Plan 2010). It is important to remember that it is illegal to clear, modify, underscrub or remove any vegetation within areas of identified habitat.

The two young palms located within SNV near the Sarong Site that require removal will be replanted. Any native ferns potentially damaged at this site will naturally regenerate.

Can the development be sited to retain existing vegetation? If no, explain why this is not possible.

Through careful site analysis and installation procedures, extensive measures will be taken to ensure there is no permanent damage to any significant vegetation at each of the five sites. The two young palms (which do not yet have proper trunks) requiring removal within SNV at the Sarong site will be replanted nearby thereby mitigating any negative impact. No other native vegetation at each of the five sites will be negatively impacted (trimming only to non-native species).

Do you intend to provide any landscaping to compensate for the removal of vegetation? If yes, please include a landscape plans specifying the species to be used. If no, please explain why supplementary landscaping is not necessary.

The two small palms requiring removal at the Sarong site are young enough that they can be replanted.

VISUAL APPEARANCE

Explain how the external appearance of the development has been designed to take into consideration of the adjoining properties and character of the area.

NA

VISUAL AND ACOUSTIC PRIVACY

Describe how the development has been designed to reduce any possible impact on the visual or acoustic privacy of adjoining properties. Consider the use of screening, landscaping, offsetting windows and balconies.

All Island Services in collaboration with Somerset has devised a noise control plan in relation to construction works to reduce noise impact on the surrounding area, including timing scheduling and equipment selection.

SOLAR ACCESS

Has the development been designed so that the main indoor and outdoor living spaces face north and east to take advantage of solar access? If yes, please specify the parts of the dwelling facing north and east.

NA

Does the development overshadow adjoining properties?

NA

VIEWS

Does the development obstruct any views from adjoining properties?

NA

Is it possible to site the development to minimise the obstruction of views? If no, explain why this is not possible.

NA

PARKING AND TRAFFIC

How many on-site parking spaces are existing and how many will result from the proposed development?

NA

Does the development provide adequate manoeuvring areas without impacting on existing access and parking arrangements? If no, please justify why the development should be supported.

NA

EARTHWORKS AND RETAINING WALLS

Does the site need to be excavated or filled? If yes, specify the maximum retaining wall heights and type of construction. Retaining wall details need to be shown on the development plans.

Excavation works will be required to remove existing concrete septic tanks. Refer to the Construction Management Plan for further detail.

This DA solely relates to the upgrade of the existing wastewater system currently servicing Somerset Apa WASTEWATER MANAGEMENT

Have you completed the Lord Howe Island Board Onsite Wastewater Management System checklist for Applicants and submitted with this application?

Yes

STORMWATER RUNOFF DISPOSAL

How will excess stormwater runoff be disposed?

NA

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EROSION AND SEDIMENT CONTROL

What erosion and sediment control measure will be used to keep the soil on your site? Consider siltation fencing, diversion channels, stockpile protection, stormwater pit protection and gravel vehicle access.

NA

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Where will the erosion and sediment control measures be provided on-site? Please identify the location of the erosion and sediment control measures on the site plan.

NA

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OTHER CONSIDERATIONS

Are there any other particular measures proposed to mitigate and/or offset any significant impact caused by the development?

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On-site Wastewater Treatment for Somerset Apartments

Prepared by Civcon 20.01.2025

Address [REDACTED] P/L No. DP Lot 362 DP 1101462

Somerset Wastewater Upgrade – Overview

Due to the size of the facility, the disperse nature of the built structure and the seasonal fluctuation of visitor numbers, Somerset's wastewater will continue to be serviced by multiple wastewater treatment systems.

There will be two individual treatment systems of varying sizes and design. It is anticipated that the Somerset wastewater upgrade will be completed by the end of Winter 2025. Many factors can influence this completion date including supply of systems, shipping schedules and freight capacities, visitor occupancy and visitor experience.

Wastewater hydraulic loads have been calculated by Brad Josephs, LHIB A/MIES, from the published effluent values in the LHI Onsite Wastewater Management Strategy (OWMS) and associated Design Guidelines and AS/NZS 1457:2012 Onsite Wastewater Management.

All occupancy rates, water uses and water usage (as appropriate) have been supplied by Gai Wilson and Civcon Water Services PTY LTD.

System 1

It is proposed to install a FujiClean PCN10 for System 1. The PCN10 is an aerated wastewater treatment system which is capable of treating up to 10,000lt of wastewater per day and producing effluent quality compliance values as outlined in the OWMS.

The LHIB have been supplied the FujiClean PCN10 system information. This is the same system as installed by Blue Lagoon in winter of 2017 and Pinetrees in 2020.

The main septic tank located at the front of the property, adjacent to Ned's beach Rd, collects waste from the 'Hibiscus' guest rooms and nearby staff accommodation with a hydraulic volume of **4750** liters per day.

The 'Sarong' room system features an old concrete septic tank, which again separates solids from effluent and pumps to a disposal area with a hydraulic load of **1200** liters per day.

The proposed upgrade would involve removing all waste from the existing concrete system via pump out truck, removing the concrete septic tank near Ned's beach Rd/ 'Hibiscus' rooms, and it replacing with a Fuji Clean PCN10 Commercial wastewater treatment plant with a 3000 lt irrigation pump well installed at the end of treatment. The Construction Management Plan will provide further detail regarding potential impact to any planting withing this SNV zone as a result of necessary machinery access for removal and installation of new system.

The 'Sarong' site requires removal of the concrete lids of existing tank, removal of all sludge via pump out truck, installation of two 1650 lt poly pump wells inside of old tank to be linked together. Then the fitting of a positive displacement grinder pump in the second tank with control panel, alarms and pump waste to Fuji Clean PCN10 near Ned's beach Rd. If at the time of installation it is found that the old septic tank is not in a suitable condition to house the two pump wells, then removal of the existing concrete tank and excavation for the two new poly pump wells in same location may be required.

The proposed Fuji Clean PCN10 system is capable of treating up to **10,000** lt per day. The hydraulic load of System 1 is shown in table 1.

Area/Source	Numbers	Litres Per Person	Total Litres Per Day
Hibiscus Rooms	25	150	3750
Staff Residence (6 bedrooms)	7EP	120	840
Office	8	20	160
Sarong	8	150	1200
Totals			5950lt

System 2

The septic tank located behind the '**Frangipani**' rooms is again an old concrete construction tank, which separates solids from effluent and pumps to a disposal area a hydraulic load of **2400** liters per day from the Frangipani rooms.

The '**Main House**' has a poly septic tank at present which separates solids and pumps effluent to a disposal area, with a hydraulic load of **720** liters per day.

The proposed upgrade would involve removing all waste from concrete septic tank, installing a Fuji Clean CE6000 Wastewater treatment plant next to THE existing system with a 3000-liter irrigation pump well at the system's outlet.

Behind the '**Laundry**' it's proposed to install a 5000-liter pump well to collect wastewater from laundry and to distribute the wastewater from the laundry between the CE6000 system and the PCN10 system to allow the sharing of load and enable better treatment of the laundry wastewater.

At the main house, it's proposed to remove all solids and waste from existing tank, install a positive displacement pump with controls, alarms and pump waste to the Fuji CE6000 behind Frangipani rooms.

The proposed Fuji Clean CE6000 behind the Frangipani rooms would treat up to **5970** liters per day at maximum demand, but by allowing for the laundry waste to alternate between the CE6000 & PCN10, this would be reduced by up to **2850** liters per day.

The proposed Fuji Clean CE6000 is capable of treating up to 6000 liters per day, at maximum demand including the laundry at **5970 liters per day**.

Area/Source	Numbers	Litres Per Person	Total Litres Per Day
Frangipani rooms	16	150	2400
Main House (5 bedrooms)	6EP	120	720
Totals			3120lt

The laundry component for the Somerset guest is included within the hydraulic flow figures of tables 1 and 2 as per AS/NZS 1547:2012. The proposed layout of the systems shows the laundry component being split between both systems. The total hydraulic load of the laundry would be 2450lt/day. As such both the PCN10 and the CE6000 can efficiently handle the hydraulic load if directed completely to the system as shown in table 3.

System	Max daily load	Current proposed load	With additional load
PCN10	10,000	5950	8400
CE6000	6000	3120	5570

It should be noted these are overestimates, as both systems are already including part of the laundry component. Also note that these figures do not affect the daily hydraulic load of the overall project.

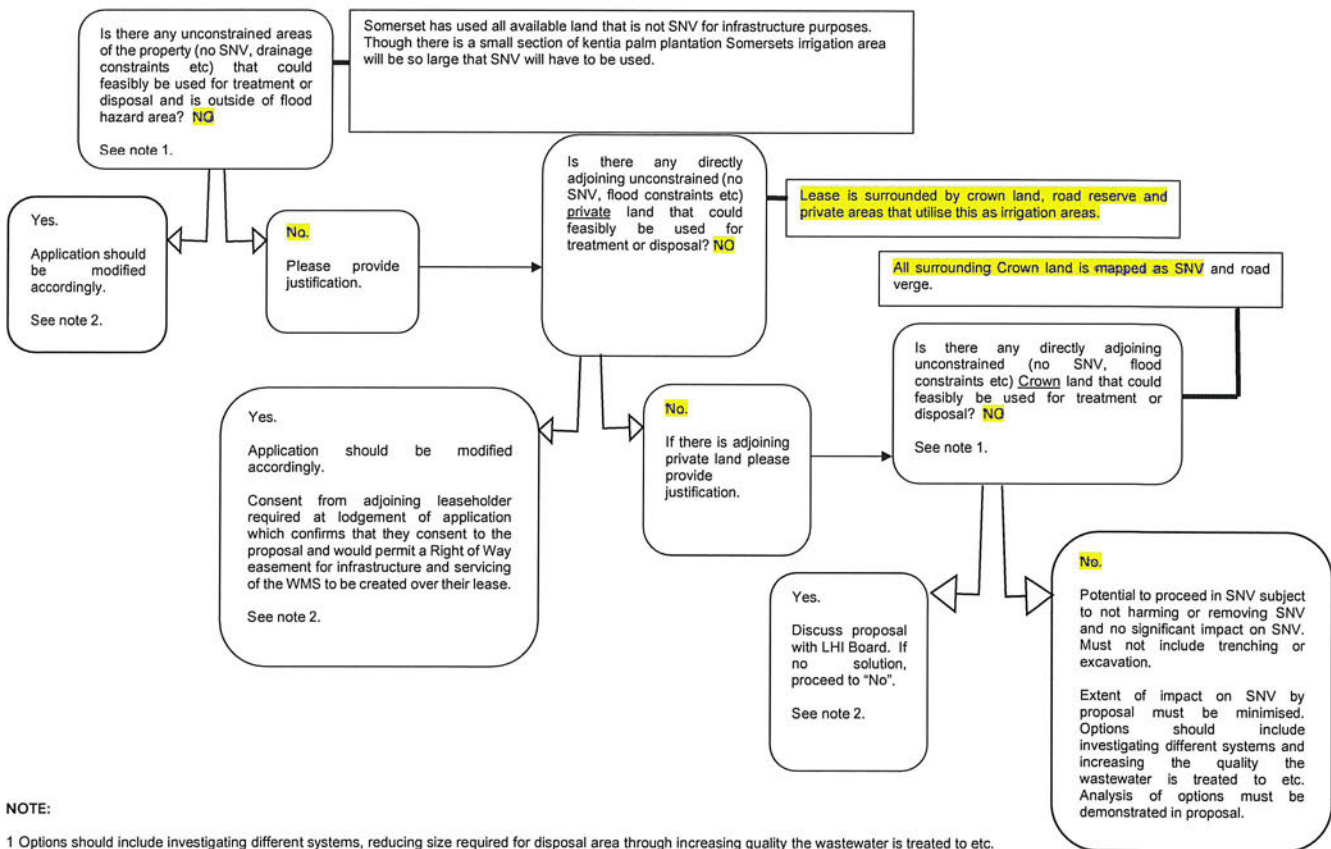
All treated wastewater from both the Fuji Clean PCN10 & CE6000 would be distributed via lilac stripe poly pipe, indexing valves to a disposal field of surface drip irrigation split into suitable sizes zones to allow even distribution of the wastewater with auto flush valves and air bleed valves installed on each zone.

In total the Somersets overall hydraulic load is 9070lt/day, the proposed effluent irrigation area is to be situated on Lot 362 of DP 1101462. The soil type on Lot 1 is sand. A soil sample will be provided to the Board for confirmation. The area required for the effluent irrigation with this soil type will be determined by water nutrient balance calculations made by the Lord Howe Island Board which requires 3655m².

Due to the current amount of infrastructure on Lot 362 and being surrounded by road reserve and private land, it is proposed to house the irrigation area within SNV. Somerset currently has approximately 3900 square meters of SNV available for irrigation. An options paper supports the installation of the irrigation area within SNV.

The treated effluent will be disinfected with chlorine prior to discharge to the irrigation fields throughout existing SNV (see attached site plan). The irrigation fields will have small diameter (16mm) drip pipe laid in a grid pattern and split into at least two fields. All pipework connecting the systems to the irrigation fields, located within areas mapped as SNV, will be laid on the surface. AS per the OWMS the irrigation fields will be split into 400 meter sections. As the irrigation field pipework will be laid on top of the surface, minimal impact will occur during installation as no machinery will be required for installation (foot traffic only).

Options analysis for wastewater systems proposed within SNV – Somerset Upgrade



NOTE:

1 Options should include investigating different systems, reducing size required for disposal area through increasing quality the wastewater is treated to etc.

2 If a proposal is likely to affect threatened species, populations or ecological communities, or their habitats, a 7-part test must be prepared in accordance with Division 2 of Part 6 of the *Threatened Species Conservation Act 1995* and submitted with the application.

Nutrient Balance

Site Address: **Somerset**

Please read the attached notes before using this spreadsheet.

SUMMARY - LAND APPLICATION AREA REQUIRED BASED ON THE MOST LIMITING BALANCE =

2,648 m²

INPUT DATA ^[1]					
Wastewater Loading			Nutrient Crop Uptake		
Hydraulic Load	9,070	L/Day	Crop N Uptake	200	kg/ha/yr which equals 55 mg/m ² /day
Effluent N Concentration	20	mg/L	Crop P Uptake	20	kg/ha/yr which equals 5 mg/m ² /day
% Lost to Soil Processes (Geary & Gardner 1996)	0.2	Decimal	Phosphorus Sorption		
Total N Loss to Soil	36,280	mg/day	P-sorption result	170	mg/kg which equals 3,060 kg/ha
Remaining N Load after soil loss	145,120	mg/day	Bulk Density	1.8	g/cm ³
Effluent P Concentration	2	mg/L	Depth of Soil	1	m
Design Life of System	50	yrs	% of Predicted P-sorp. ^[2]	0.5	Decimal

METHOD 1: NUTRIENT BALANCE BASED ON ANNUAL CROP UPTAKE RATES					
Minimum Area required with zero buffer		Determination of Buffer Zone Size for a Nominated Land Application Area (LAA)			
Nitrogen	2,648 m ²	Nominated LAA Size	626	m ²	
Phosphorus	1,309 m ²	Predicted N Export from LAA	40.45	kg/year	
		Predicted P Export from LAA	3.45	kg/year	
		Phosphorus Longevity for LAA	18	Years	
		Minimum Buffer Required for excess nutrient	2022	m ²	

PHOSPHORUS BALANCE

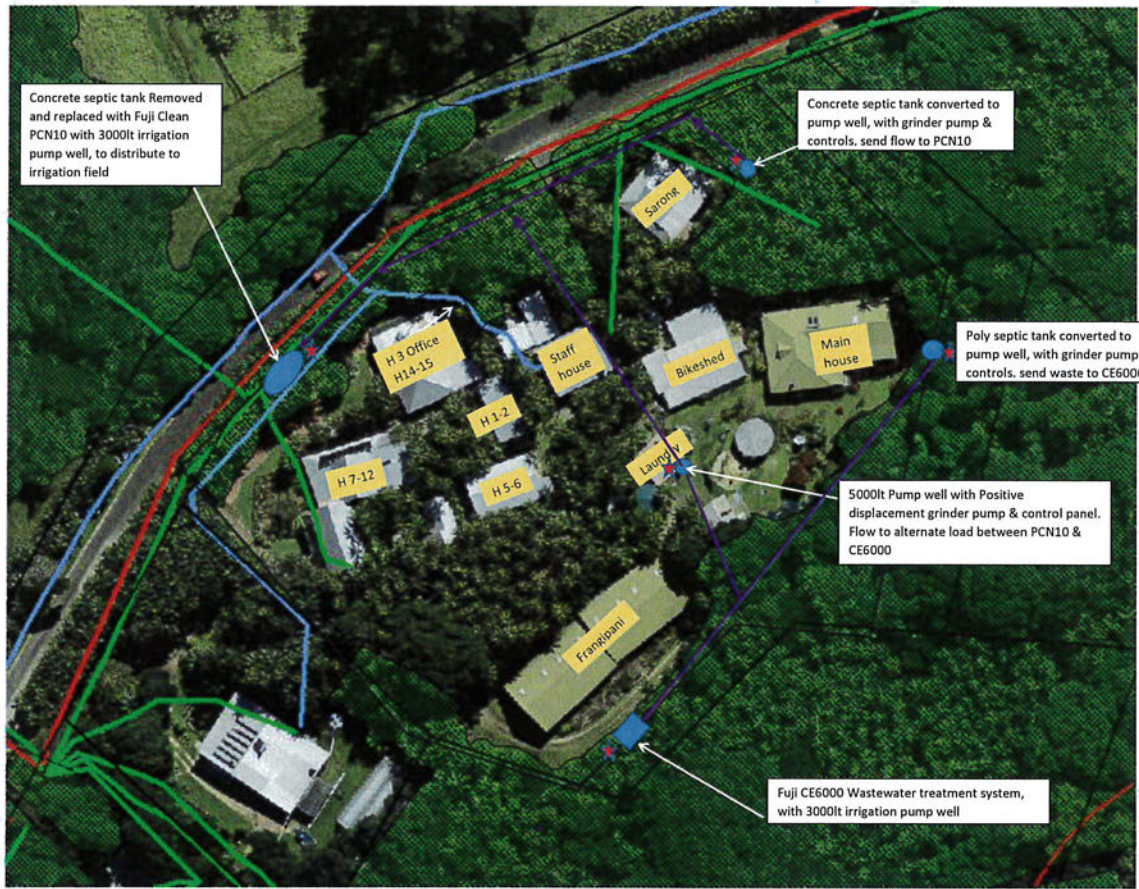
STEP 1: Using the nominated LAA Size

Nominated LAA Size	626	m ²			
Daily P Load	0.01814	kg/day	→	Phosphorus generated over life of system	331.055 kg
Daily Uptake	0.00343	kg/day	→	Phosphorus vegetative uptake for life of system	0.100 kg/m ²
Measured p-sorption capacity	0.306	kg/m ²			
Assumed p-sorption capacity	0.153	kg/m ²	→	Phosphorus adsorbed in 50 years	0.153 kg/m ²
Site P-sorption capacity	95.78	kg	→	Desired Annual P Application Rate	3.168 kg/year
				which equals	0.00868 kg/day
P-load to be sorbed	5.37	kg/year			

NOTES

Somerset

Design & Implementation of the Somerset Wastewater Treatment System (SWS) 10/1/15
 The project is a joint venture between the Somerset Council and the Somerset Wastewater Treatment System (SWS) Ltd. The project is a joint venture between the Somerset Council and the Somerset Wastewater Treatment System (SWS) Ltd. The project is a joint venture between the Somerset Council and the Somerset Wastewater Treatment System (SWS) Ltd.



Concrete septic tank Removed and replaced with Fuji Clean PCN10 with 3000lt irrigation pump well, to distribute to irrigation field

Concrete septic tank converted to pump well, with grinder pump & controls. send flow to PCN10

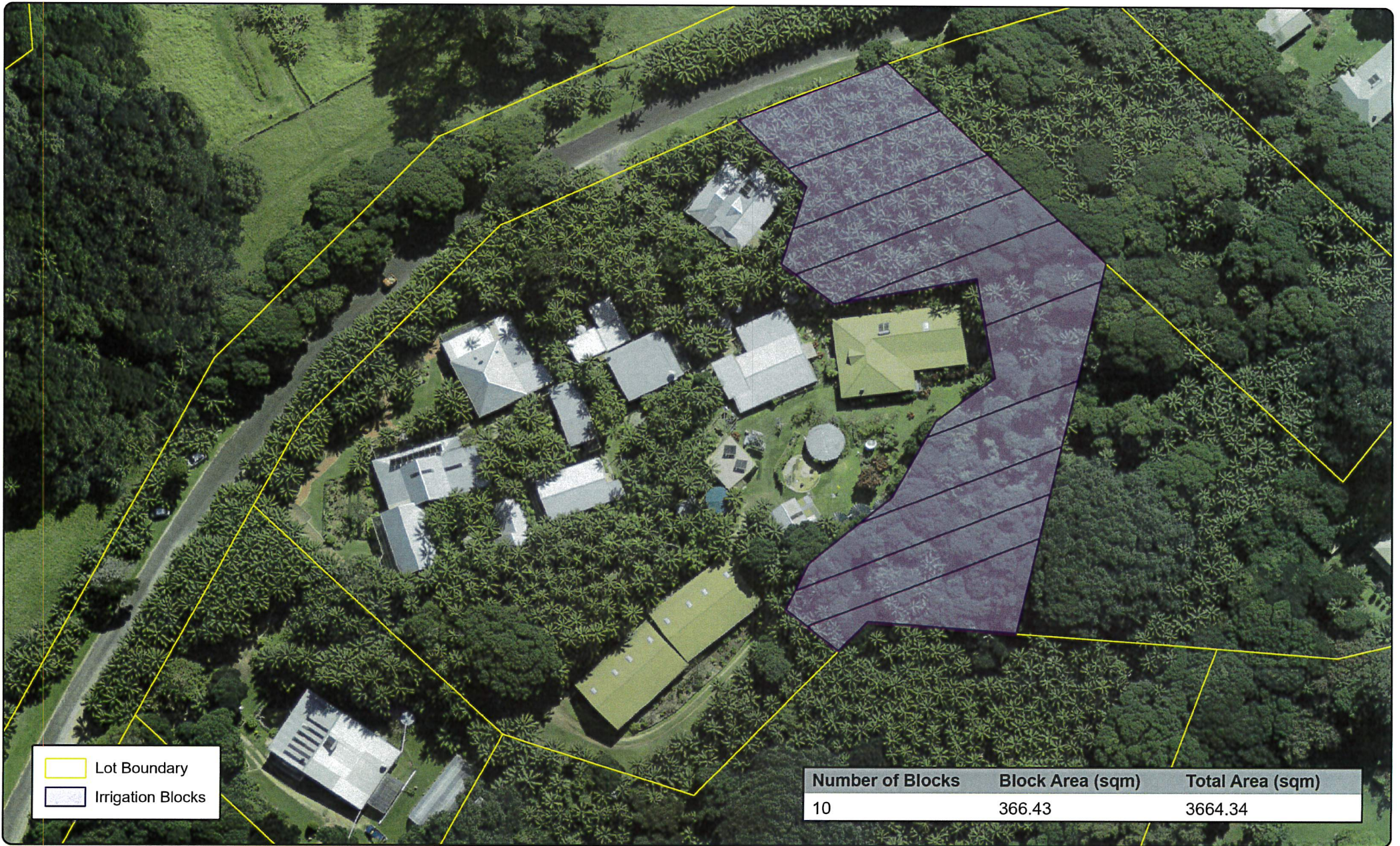
Poly septic tank converted to pump well, with grinder pump & controls. send waste to CE6000

5000lt Pump well with Positive displacement grinder pump & control panel. Flow to alternate load between PCN10 & CE6000

Fuji CE6000 Wastewater treatment system, with 3000lt irrigation pump well

- ★ Sewer
 - # Wells
 - ⬇️ Lol, coast line, me an nigh a term
 - ⬇️ Lol, b tank
 - ⬇️ Well buffer - 50 m
 - ⬇️ Telecom cable
 - ⬇️ Low voltage cable
 - ⬇️ High voltage cable
- 0 10 20 Metres
- PROJECTION: Wastewater





Scale at A4 = 1:925
MGA 94 - Zone 57

This map is not guaranteed to be free from error or omission. Therefore, the Lord Howe Island Board and its employees disclaim liability of any act done or omission made on the information on the map and any consequences of such acts or omissions.

Somerset Irrigation Area Blocks

Lord Howe Island Board
Created on: 24/08/2023



SOMERSET APARTMENTS

ONSITE WASTEWATER MANAGEMENT SYSTEM UPGRADE

SCOPE OF PROPOSED WORKS

29.01.2025

WASTEWATER SYSTEM 1

- 'HIBISCUS' SYSTEM (CURRENTLY LOCATED WITHIN SNV)
 - Existing main concrete septic tank to be removed and replaced with Fuji Clean PCN10 with 3000LT irrigation pump well to distribute to irrigation field.
 - New tank to collect waste from 'Hibiscus' guest rooms and staff accommodation
 - All waste from existing tank to be removed via pump out truck before removal of existing Concrete tank.
 - The Hibiscus septic system will be installed from the rear of the SNV area (grass area near units) and craned up and over the SNV so that no native vegetation will be negatively impacted during installation. Refer to construction management plan for more detailed information regarding machinery access in SNV zone and steps to avoid damage to any native vegetation. Trimming of one non-native frangipani tree within resort (non SNV) will be required to allow for safe work area.
- 'SARONG' SYSTEM (CURRENTLY LOCATED WITHIN SNV)
 - Existing concrete septic tank to be converted to new pump well, with grinder pump and controls to send flow to fuji clean pcn10.
 - Contractor to remove concrete lids off existing tank, remove all sludge via pump out truck, install two 1650LT poly pump wells inside of old tank, linked together.
 - Positive displacement grinder pump to be fitted in 2nd tank with control panel and alarms, and pump waste to Fuji Clean PCN10 near Ned's Beach Rd.
 - If at the time of installation it is found that the existing septic tank is not in a Suitable condition to house the two pump wells, then removal of the old concrete tank and excavation for the two new poly pump wells in the same location may be required.
 - Refer to site plan for route that will be used to avoid any adverse impact on any vegetation within the SNV zone during installation of the Sarong septic unit.
 - Any existing debris to be removed from the area in small pieces by hand/ barrow. Refer to construction Management plan for more information.
 - Trimming and removal of small portion of Caliper hedges (non SNV), removal of two frangipani trees (non SNV), removal of two small palm trees (1.4cm dia – no trunk - within SNV - to be re planted) will be required. Some fishbone ferns within SNV zone may also be impacted by machinery, but will naturally regenerate.

WASTEWATER SYSTEM 2

- 'FRANGIPANI' SYSTEM
 - New Fuji CE6000 wastewater treatment system with 3000LT irrigation pump well at outlet of system to be installed next to existing system.
 - All waste to be removed from existing concrete septic tank before tank is decommissioned. Exposed top of the system to be broken down and removed, excess soil from excavation to be used to fill old system and returned to garden or grassed area.
 - The Frangipani septic unit is not located within SNV. No native vegetation will be removed or disturbed during excavation and installation of the new CE6000 system. Trimming of two non-native frangipani trees (non NSV) will be required to allow for machinery movement within work area.
- 'MAIN HOUSE' SYSTEM
 - ' Existing poly septic tank next to main house to be converted to pump well with grinder pump and controls. Waste to be sent to CE6000.
 - Installation site is lawn area within resort (non NSV) – no vegetation requires removal.
- 'LAUNDRY' SYSTEM
 - New 5000LT pump well with positive displacement grinder pump and control panel to be installed behind laundry. This is the only new system being installed that is *not* replacing an existing system.
 - Pump to collect all grey water from the laundry and distribute to the CE6000 and PCN10. Flow to alternate load between PCN10 and CE6000 to allow sharing of load and enable better treatment of laundry waste.
 - Installation site is lawn area within resort (non NSV) – no vegetation requires removal.

PROPOSED IRRIGATION AREA

- Currently there is no existing irrigation area/ blocks.
- After installation of proposed new wastewater systems, treated effluent will be disinfected with chlorine prior to discharge to new irrigation fields throughout existing SNV.
- Irrigation fields to use 16mm lilac dripline 2.4LT per hour drip emitters at 400mm spacing, laid in a grid pattern and split into at least ten fields with spacings of 800mm between lines.
- All pipework connecting the systems to the irrigation fields, located within areas mapped as SNV, will be laid on the surface. As per the OWMS the irrigation fields will be split into 400-metre sections.

Somerset Apartments – Septic Replacement - Construction Management Plan



1. Project Overview:

Our execution incorporates proven methodologies, qualified personnel and a highly responsive approach to managing environmental impacts, quality, cost and time effectiveness.

This outline is based on the replacement of 3 commercial septic systems for Somerset Apartments Lord Howe Island.

All Island Service Pty Ltd has extensive experience in removing dated and damaged septic systems and preparing areas for new septic installation on Lord Howe Island, working with a methodology that is both practical and minimizes environmental impact.

Site 1: Hibiscus Site 2: Sarong Site 3: Frangipani Site 4: Main House Site 5: Laundry

2. Site Assessment

- **Site Survey:** Completed Site Survey including topography, existing structures, identified access points and any vegetation removal required, full assessment of environmental footprint and vegetation recovery.

3. Construction Methodology of 3 x tank installations.

1. Completed site inspection for any environmental or OH&S potential issues. **1-5 site**
2. Record number and location of underground utilities and identify. In liaison with LHIB for services (dial before you dig) and environmental staff. **1-5 site**
3. Confirmed access from Lawn area and pathway behind SNV areas. **1-5 site**
4. Full pump out of septic waste from old systems. **1-3 site.**
5. Set up work zones and signage, safety / spotter personal on site with working machinery. **1-5 site**
6. Ensure all equipment washed and prepared for transporting to site.
7. Demolish redundant concrete septic **1-3 site**
8. Excavated concrete from old tank material will be placed directly on to trucks for removal and disposed of. **1-3 site**
9. Cut And profile - preparation for replacement septic units. **1-3 site.** Cut & Profile – small Tank installation **4-5 Site**
10. Co-ordinate with LHIB crane and operator for lifting replacement system over the top of SNV area – includes road obstruction and traffic closure & control. **Site 1**

29.01.2025

11. After securing all signage, safety and traffic control – secure septic system for lifting – lift carefully over SNV and placing in pre prepared inground site. **Site 1**

12. AIS do not reconnect sewage system – this will be done by the company Somerset Apartments have assigned for professional installation.

13. Once septic system is installed and operational – AIS will backfill with materials that has been identified free of debris and deleterious matter to secure the system. **1-5 site**

14. AIS will leave site clean and tidy, minimizing damage made by equipment and operations.

4. Environmental Management

- **Vegetation Removal Plan:**

Site 1 (Hibiscus): trimming 1 x frangipani tree to allow safe work area (not SNV)

Site 2 (Sarong): trimming and some removal of Caliper hedges (non SNV), removal of 2 frangipani trees (non SNV), removal of 2 small palm trees (1.4cm – no trunk) to be re planted (within SNV). Some fishbone ferns within SNV zone may be impacted by machinery but will naturally regenerate.

Site 3 (Frangipani): trimming of 2 frangipani (non NSV) to allow for machinery movement of work area.

Site 4 (Main House) & 5 (Laundry): installation sites are lawn areas within resort (non NSV) – no vegetation requiring removal.

- **Noise Control:** Strategy in place with Somerset to reduce noise impact on the surrounding area, including timing scheduling and equipment selection.

5. Safety Management

- **Safety Plan:** SWIMS - Safety protocols, including personal protective equipment (PPE) and emergency procedures.
- **Safety and Risk Assessment:** prior to project works

6. Traffic Management

- **Traffic Plan:** In conjunction with LHIB and AIS for managing site traffic, road closures including access routes and signage.

7. Waste Management

- **Waste Disposal:** Procedures in place for the disposal of concrete.
- **All concrete waste will be removed and placed on trucks for immediate removal.**

8. Monitoring and Reporting

- **Inspection Schedule:** Regular inspections to ensure compliance with the management plan.
- **Reporting:** Documentation of activities, incidents, and compliance with regulatory requirements.

SNV LINE TAKEN FROM - 6380_COM_SNV_003_005_20220113

(A) - EASEMENT FOR WATER SUPPLY 1 WIDE AND 5.28 WIDE

PROPOSED IRRIGATION AREA	NUMBER OF BLOCKS	BLOCK AREA (SQM)	TOTAL AREA (SQM)
	10	366.23	3664.34

SYSTEM 1 - 'HIBISCUS'
 EXISTING MAIN CONCRETE SEPTIC TANK TO BE REMOVED AND REPLACED WITH FUJI CLEAN PCN10 WITH 3000L IRRIGATION PUMP WELL TO DISTRIBUTE TO IRRIGATION FIELD. NEW TANK TO COLLECT WASTE FROM 'HIBISCUS' GUEST ROOMS AND STAFF ACCOM. ALL WASTE FROM EXISTING TANK TO BE REMOVED VIA PUMP OUT TRUCK BEFORE REMOVAL OF OLD CONCRETE TANK. HIBISCUS SYSTEM WILL BE INSTALLED FROM THE REAR OF THE SNV AREA (GRASS AREA NEAR UNITS) AND CRANED UP AND COVER THE SNV SO THAT NO NATIVE VEGETATION WILL BE NEGATIVELY IMPACTED DURING INSTALLATION. REFER TO CONSTRUCTION MANAGEMENT PLAN FOR MORE DETAILED INFORMATION REGARDING MACHINERY ACCESS IN SNV ZONE. TRIMMING OF ONE NON-NATIVE FRANGIPANI TREE WITHIN RESORT (NON-SNV) WILL BE REQUIRED TO ALLOW FOR SAFE WORK AREA.

SYSTEM 1 - 'SARONG'
 EXISTING CONCRETE SEPTIC TANK TO BE CONVERTED TO NEW PUMP WELL WITH GRINDER PUMP & CONTROLS TO SEND FLOW TO FUJI CLEAN PCN10. CONTRACTOR TO REMOVE CONCRETE LIDS OFF EXISTING TANK. REMOVE ALL SLUDGE VIA PUMP OUT TRUCK. INSTALL 2X 1650 L POLY PUMP WELLS INSIDE OF OLD TANK, LINKED TOGETHER. POSITIVE DISPLACEMENT GRINDER PUMP TO BE FITTED IN 2ND TANK WITH CONTROL PANEL AND ALARMS. AND PUMP WASTE TO FUJI CLEAN PCN10 NEAR NEDS BEACH RD. IF AT THE TIME OF INSTALLATION IT IS FOUND THAT THE EXISTING SEPTIC TANK IS NOT IN A SUITABLE CONDITION TO HOUSE THE TWO PUMP WELLS, THEN REMOVAL OF THE OLD CONCRETE TANK AND EXCAVATION FOR THE TWO NEW POLY PUMP WELLS IN SAME LOCATION MAY BE REQUIRED. GREEN DASHED LINE INDICATES ROUTE THAT WILL BE USED TO AVOID ANY ADVERSE IMPACT ON ANY VEGETATION WITHIN THE SNV ZONE DURING INSTALLATION OF THE 'SARONG' SEPTIC UNIT. ANY EXISTING DEBRIS TO BE REMOVED FROM THE AREA IN SMALL PIECES BY HANDY BARROW. REFER TO CONSTRUCTION MANAGEMENT PLAN FOR MORE INFORMATION. TRIMMING AND REMOVAL OF SMALL PORTION OF CALIFUR HEDGE (NON-SNV). REMOVAL OF TWO FRANGIPANI TREES (NON-SNV). REMOVAL OF TWO SMALL PALM TREES (1.4CM DIA - NO TANK - WITHIN SNV - TO BE RE PLANTED) WILL BE REQUIRED. SOME FISHBONE FERNS WITHIN SNV ZONE MAY ALSO BE IMPACTED BY MACHINERY, BUT WILL NATURALLY REGENERATE.

PROPOSED IRRIGATION AREA TREATED EFFLUENT TO BE DISINFECTED WITH CHLORINE PRIOR TO DISCHARGE TO IRRIGATION FIELDS THROUGHOUT EXISTING SNV. IRRIGATION FIELDS TO USE 16MM ULAC DRIPLINE 2.4LT PER HR DRIP EMITTERS AT 400MM SPACING LAID IN A GRID PATTERN AND SPLIT INTO AT LEAST TEN FIELDS WITH SPACINGS OF 800MM BETWEEN LINES. ALL PIPEWORK CONNECTING THE SYSTEMS TO THE IRRIGATION FIELDS, LOCATED WITHIN AREAS MAPPED AS SNV, WILL BE LAID ON THE SURFACE, AS PER THE COWMS THE IRRIGATION FIELDS WILL BE SPLIT INTO 400 METER SECTIONS. (CURRENTLY THERE IS NO EXISTING IRRIGATION AREA) BLOCKS.)

SYSTEM 2 - 'MAIN HOUSE'
 EXISTING POLY SEPTIC TANK NEXT TO MAIN HOUSE TO BE CONVERTED TO PUMP WELL WITH GRINDER PUMP AND CONTROLS. WASTE TO BE SENT TO CE6000. INSTALLATION SITE IS LAWN AREA WITHIN RESORT (NON-SNV). NO VEGETATION REQUIRES REMOVAL.

GREEN LINE INDICATES THE BEST ACCESS ROUTE AS DETERMINED BY ALL ISLAND SERVICES THAT WILL MINIMISE FOOTPRINT OF WORKS AND ANY NEGATIVE IMPACT TO VEGETATION BOTH OUTSIDE AND WITHIN THE SNV ZONE DURING TANK REPLACEMENTS.

SYSTEM 2 - 'LAUNDRY'
 NEW 3000L PUMP WELL WITH POSITIVE DISPLACEMENT GRINDER PUMP & CONTROL PANEL TO BE INSTALLED BEHIND LAUNDRY. FLOW TO ALTERNATE LOAD BETWEEN PCN10 & CE6000 TO ALLOW SHARING OF LOAD AND ENABLE BETTER TREATMENT OF LAUNDRY WASTE. INSTALLATION SITE IS LAWN AREA WITHIN RESORT (NON-SNV) - NO VEGETATION REQUIRES REMOVAL.

SYSTEM 2 - 'FRANGIPANI'
 NEW FUJI CE6000 WASTEWATER TREATMENT SYSTEM WITH 3000L IRRIGATION PUMP WELL AT OUTLET OF SYSTEM TO BE INSTALLED NEXT TO EXISTING SYSTEM. ALL WASTE TO BE REMOVED FROM EXISTING CONCRETE SEPTIC TANK BEFORE TANK IS DECOMMISSIONED. EXPOSED TOP OF THE SYSTEM TO BE BROKEN DOWN AND REMOVED. EXCESS SOIL FROM EXCAVATION TO BE USED TO FILL OLD SYSTEM AND RETURNED TO GARDEN OR GRASSED AREA. FRANGIPANI SEPTIC UNIT IS NOT LOCATED WITHIN SNV. NO NATIVE VEGETATION WILL BE REMOVED OR DISTURBED DURING EXCAVATION AND INSTALLATION OF THE NEW CE6000 SYSTEM. TRIMMING OF TWO NON-NATIVE FRANGIPANI TREES (NON-SNV) WILL BE REQUIRED TO ALLOW FOR MACHINERY MOVEMENT WITHIN WORK AREA.

DATE ISSUE REVISIONS

29.01.2025 A DA

PRIOR TO THE COMMENCEMENT OF WORK, SURVEY AND VERIFY ALL GRIDLINES. CHECK ALL DIMENSIONS ON SITE. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE. COMPLY WITH RELEVANT AUTHORITIES REGULATIONS. COMPLY WITH BUILDING CODE OF AUSTRALIA. COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS. COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY ROOM ON FIRE.

ROOM ON FIRE

CHLOE@ROOMONFIRE.NET

PROJECT SOMERSET WASTEWATER UPGRADE LOT 362 ON DP 1101462

CLIENT SOMERSET APARTMENTS | GAI WILSON
 RESERVATIONS@SOMERSET-LORDHOWE.COM.AU

DRAWING SITE PLAN SHOWING PROPOSED WASTEWATER UPGRADE

PROJECT NO. 082 DRAWN CM

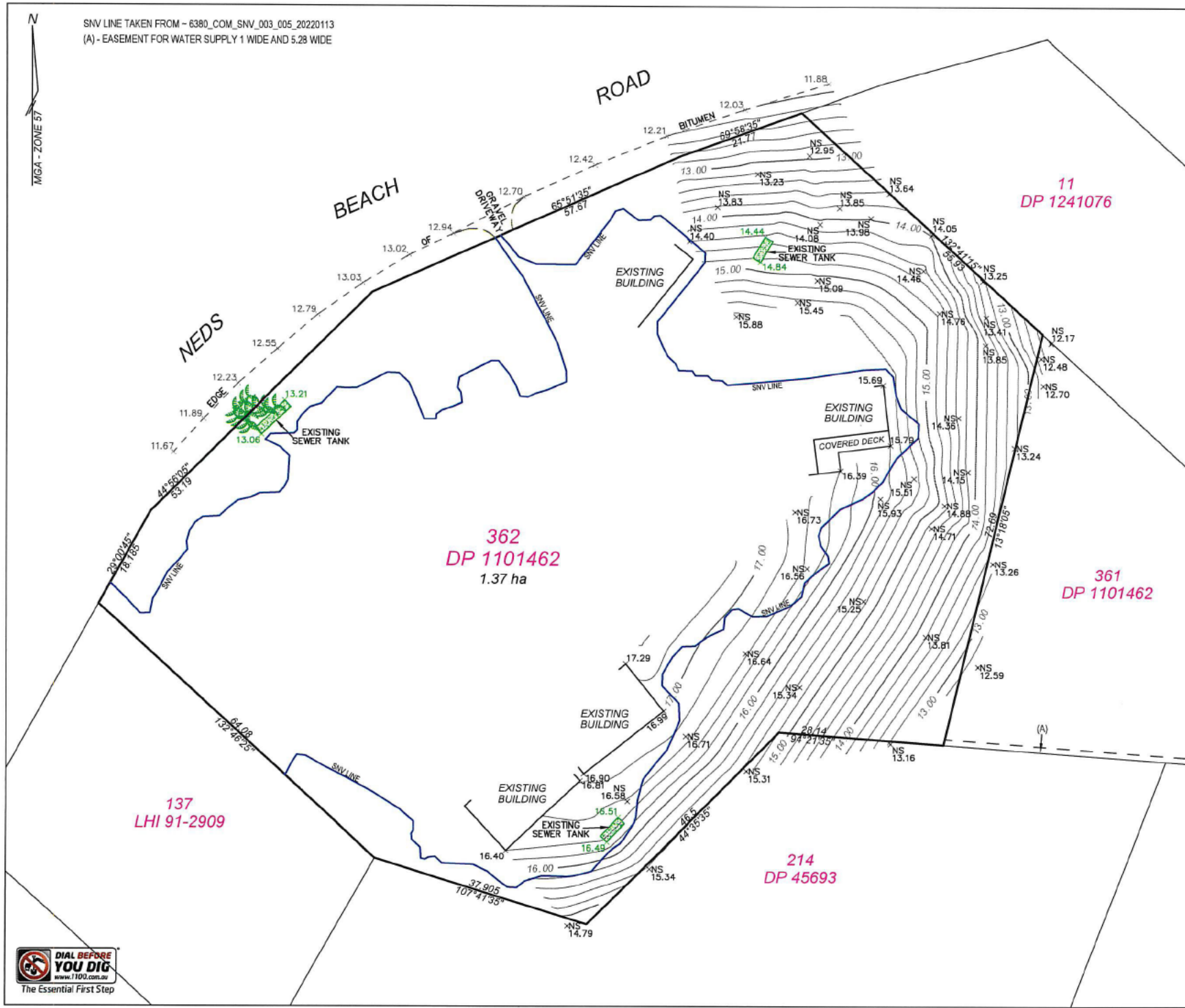
SCALE 1:600

DWG NO. DA01 ISSUE DA

NOT FOR CONSTRUCTION

MGA - ZONE 57

SNV LINE TAKEN FROM - 6380_COM_SNV_003_005_20220113
 (A) - EASEMENT FOR WATER SUPPLY 1 WIDE AND 5.28 WIDE



CLIENT
 SOMERSET APARTMENTS

PROJECT
 PARTIAL
 DETAIL & CONTOUR
 SURVEY
 OF
 LOT 362 on DP 1101462
 LORD HOWE ISLAND

NOTES

The title boundaries shown herein were not marked at the time of survey and have been determined by plan dimensions only and not by field survey any boundary definition undertaken at the time of survey has been carried out under the immediate supervision of the Registered Surveyor employed by B.R. Development Consulting. Services shown hereon have been located where possible by field survey. If not able to be so located, services have been plotted from the records of relevant authorities where available and have been noted accordingly on the plan. Where such records do not exist or are inadequate a notation has been made hereon. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

LINWORK & CODE LEGEND

LineStyle	Description
	BOTTOM OF BANK
	DRAIN
	EDGE OF BITUMEN
	EDGE OF TREES
	ELEC. CABLE UG
	FENCE
	STORMWATER PIPE
	SEWER PIPE
	TOP OF BANK
	WATER MAIN

Code	Description	Symbol
BM	BENCH MARK	
BOL	BOLLARD	
EBX	ELECTRICAL BOX	
EPIT	ELECTRICAL PIT	
ELP	ELEC. LIGHTPOLE	
HYD	HYDRANT	
NS	NATURAL SURFACE	
PALM	PALM	
PP	POWER POLE	
RWJ	ROOF WATER JUNCTION	
SJC	SEWER JUNCTION	
SMH	SEWER MAN HOLE	
SV	STOP VALVE	
TE	TELSTRA PIT	
TREE	TREE	
TRL	TRAFFIC LIGHT	
WM	WATER METER	

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SAT. TAKEN FROM
(A) EAST. INT. FOR V.



CLIENT
SOMERSET APARTMENTS

PROJECT
PARTIAL
DETAIL & CONTOUR
SURVEY
OF
LOT 362 on DP 1101462
NEDS BEACH ROAD
LORD HOWE ISLAND

NOTES

The title boundaries shown hereon were not marked at the time of survey and have been determined by plan dimensions only and not by field survey any boundary definition undertaken at the time of survey has been carried out under the immediate supervision of the Registered Surveyor employed by B.R. Development Consulting. Services shown hereon have been located where possible by field survey. If not able to be so located, services have been plotted from the records of relevant authorities where available and have been noted accordingly on the plan. Where such records do not exist or are inadequate a notation has been made hereon.

Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

LINework & CODE LEGEND

LineStyle	Description
--- (dashed blue)	BOTTOM OF BANK
--- (dashed green)	DRAIN
--- (dashed red)	EDGE OF BITUMEN
--- (dashed yellow)	EDGE OF TREES
--- (dashed purple)	ELEC. CABLE UG
--- (dashed brown)	FENCE
--- (dashed pink)	STORMWATER PIPE
--- (dashed grey)	SEWER PIPE
--- (dashed light blue)	TOP OF BANK
--- (dashed light green)	WATER MAIN

Code	Description	Symbol
BM	BENCH MARK	▲
BOL	BOLLARD	○
EBX	ELECTRICAL BOX	⊞
EPIT	ELECTRICAL PIT	⊞
ELP	ELEC. LIGHTPOLE	⊙
HYD	HYDRANT	⊙
NS	NATURAL SURFACE	×
PALM	PALM	☼
PP	POWER POLE	⊙
RWJ	ROOF WATER JUNCTION	⊙
SJO	SEWER JUNCTION	⊙
SMH	SEWER MAN HOLE	⊙
SV	STOP VALVE	⊙
TE	TELSTRA PIT	⊙
TREE	TREE	⊙
TRL	TRAFFIC LIGHT	⊙
WM	WATER METER	⊙

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HEIGHT DATUM AHD	LOCAL AUTHORITY LORD HOWE ISLAND
HEIGHT ORIGIN PM 1087 - RL=12.622m AHD	COUNCIL REFERENCE N/A
MERIDIAN MGA ZONE 57	SURVEYOR SKR
CO-ORD SYSTEM MAG ZONE 57	SURVEY DATE 11-12-2024
SCALE 1 : 600 @ A3	DRAWN SKR
CONTOUR INTERVAL MAJOR : 1.0m MINOR : 0.2m	DATE 31-01-2025
PLAN NUMBER	CHECKED MJD
	DATE 31-01-2025
	SHEET 2 OF 2 SHEETS

14426_DTM 31-01-2025