

# LORD HOWE ISLAND BOARD

## Application to Modify Development Consent

Date Received: .....17/01/2024/Lodged 20/02/2024      MDC No:MDC2022.7.2.....

If there is insufficient room on this form to describe the proposed modification, please support your application with additional information. Where modifications of the consent involve alterations to the approved plans, one copy of the amended plans must be provided.

**APPLICANT DETAILS**

Mr     Mrs     Ms    Other: .....

Name: ..... **Chad Wilson** .....

Organisation: ..... ABN: .....

Postal Address: ..... [REDACTED] .....

Telephone: ..... [REDACTED] ..... Fax: .....

Email: ..... [REDACTED] .....

**PROPERTY DETAILS**

Portion/Lot No.: ..... **Lot 1** ..... Lease No.: ..... **2022.01** .....

**APPROVED DEVELOPMENT**

Pursuant to Section 4.55 of the EPA Act 1979 application is hereby made to modify the following development consent.

Development Consent No.: ..... **DA2022.07** ..... Date Approved: ..... **14 / 06 / 2023** .....

Description: ..... **Tourist Accommodation incorporating alterations and additions and conversion of existing dwelling as a 4 bedroom guest house. Construction of a new transit lounge, new Garage and construction of a replacement dwelling and new wastewater system.** .....

**TYPE OF MODIFICATION**

This application is made under Section 4.55 of the EPA Act 1979 as follows:

Minor S4.55 (1) – Indicate minor error, misdescription or miscalculation:  
.....  
.....

Minimal S4.55 (1A) – Give details of the proposed modification involving minimal environmental impact and the expected impacts:  
.....  
.....  
.....



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## PRIVACY POLICY

The information you provide in this application will enable us, and any relevant state agency, to assess your application under the Environmental Planning and Assessment Act 1979 and other applicable state legislation. If the information is not provided, your application may not be accepted.

If your application is for designated development or advertised development, it will be available for public inspection and copying during a submission period. Your application, and any attached plans will be published on the Lord Howe Island Board website. Written notification of the application will also be provided to the neighbourhood. You have the right to access and have corrected information provided in your application. Please ensure that the information is accurate and advise us of any changes.

Documentation provided with an application may also be accessed in accordance with the requirements of the Government Information Access (GIPA) Act 2009.

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## LODGEMENT

Before submitting your application, please ensure you have attached all the information the consent authority needs to assess your proposal. You can use the following checklist. Please place a cross in the box  next to any items you have attached:

### Plans

- A site plan of the land — **all applications**
- Plans or drawings of the proposal showing all dimensions — **all applications**
- An A4 size plan of the proposed building and other structures on the site - **all applications**
- A plan which is drawn to scale of all existing buildings.

### Environmental effects

- An environmental impact statement for a designated development proposal and an electronic version of the executive summary
- A statement of environmental effects — **required for all applications** that are not designated development
- An environmental report — **if required under clause 42 of the LHI LEP 2010**. Contact the Board to see if you need to prepare an environmental report.
- A species impact statement
- A Basix Certificate – The Building Sustainability Index (BASIX) applies to all residential dwelling types and is part of the development application process in NSW. A BASIX certificate **MUST** be obtained for “**BASIX affected development**”. For further information please refer to [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)
- Electrical supply form must be completed (for new / alteration / addition to existing supply).

### Staged development

- Information which describes the stages of the development
- A copy of any consents already granted for part of the development

### Supporting information

- Other material to support your application, such as photos, slides and models. *Please ensure any items listed as an Advisory Note as part of the Owner Consent approval have been addressed.*

### Application fee

- Your application fee — **required for all applications.**

DA2022.07 for Hunter Bay House (Lease 2022.01) is modified as follows:

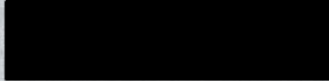
1. Site coverage reduced by 89.25 m<sup>2</sup> to meet Environmental Planning and Assessment Act requirements (Reference: AD23/1270).
2. Updated Basix certificate (Cert. 1225039S\_02) reflects approved plan changes.
3. Building classification for Guest House and Transit Lounge adjusted to align with NCC 2022 (Guest House: 1a to 1b Transit Lounge:9b to 1b). Total commercial site coverage decreased to 266 m<sup>2</sup>.

NABERS Embodied Emissions Materials Form is not applicable to this modification of development application.



CLIENT:  
ADDRESS:

C. WILSON  
LOT NO. 1 | DP 1279044  
LEASE NO. 2022.01



DRAWING REGISTER:

ISSUE DATE+REVISION

DESIGN DRAWINGS

DRWG NO.	DRWG TITLE	SCALE	14.10.22	08.06.23	16.01.24
035 DA-00	COVER PAGE	NTS	DA	DA	DA
035 DA-01	PROPOSED SITE PLAN	1:500@A3	DA	DA	DA
035 DA-02	GUEST HOUSE - PROPOSED GROUND FLOOR PLAN	1:100@A3	DA	DA	DA
035 DA-03	GUEST HOUSE - PROPOSED LOWER GROUND FLOOR PLAN	1:100@A3	DA	DA	DA
035 DA-04	GUEST HOUSE - PROPOSED ROOF PLAN	1:100@A3	DA	DA	DA
035 DA-05	GUEST HOUSE - PROPOSED ELEVATIONS	1:100@A3	DA	DA	DA
035 DA-06	GUEST HOUSE - PROPOSED SECTION	1:100@A3	DA	DA	DA
035 DA-07	TRANSIT LOUNGE - PROPOSED PLANS	1:100@A3	DA	DA	DA
035 DA-08	TRANSIT LOUNGE - PROPOSED ELEVATIONS	1:100@A3	DA	DA	DA
035 DA-09	TRANSIT LOUNGE - PROPOSED SECTION	1:100@A3	DA	DA	DA
035 DA-10	DWELLING - PROPOSED GROUND FLOOR PLAN	1:100@A3	DA	DA	DA
035 DA-11	DWELLING - PROPOSED ROOF PLAN	1:100@A3	DA	DA	DA
035 DA-12	DWELLING - PROPOSED ELEVATIONS	1:100@A3	DA	DA	DA
035 DA-13	DWELLING - PROPOSED ELEVATIONS	1:100@A3	DA	DA	DA
035 DA-14	DWELLING - PROPOSED SECTION	1:100@A3	DA	DA	DA
035 DA-15	RESIDENTIAL GARAGE - PROPOSED PLANS	1:100@A3			DA
035 DA-16	RESIDENTIAL GARAGE - PROPOSED ELEVATIONS AND SECTION	1:100@A3			DA



APPENDIX

APP.1 SITE SURVEY

ROOM ON FIRE



ALL WORKS TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC), AUSTRALIAN STANDARDS, AND WITH MANUFACTURERS RECOMMENDATIONS AND INSTRUCTIONS. ALL DEVELOPMENT TO COMPLY WITH NCC 2022 GENERAL HOUSING SPECIFICATIONS.

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ENGINEERS REPORTS AND DRAWINGS.

DO NOT SCALE OFF THIS DRAWING. USE FIGURED DIMENSIONS ONLY. VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. ALL LEVELS, DIMENSIONS AND SETBACKS ARE TO BE CHECKED PRIOR TO COMMENCEMENT OF ANY WORKS.

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DEVELOPMENT APPLICATION

LOT NO. 1 | DP 1279044  
LEASE NO. 2022.01



DATE	ISSUE	REVISION
14.10.22	DA	A
08.06.23	DA	B
16.01.24	DA	



COVER PAGE

PROJECT NO.  
035

DRAWN  
CM

SCALE@A3  
1 : NTS

DWG NO.  
DA-00

ISSUE  
DA

EXISTING METAL-CLAD DWELLING WITH METAL ROOF

286  
DP 48695

NEW TIMBER FENCE

EXISTING PATH TO BE REMOVED AND LANDSCAPED. NEW BOARDWALK ENTRY PATH.

PROPOSED ACCESSIBLE PATH TO GUEST HOUSE

LINE DENOTING SNV MAPPING. OVER 60% OF LOT IS COVERED BY SNV.

NEW TIMBER BOARDWALK TO EXISTING TRACK TO LAGOON ROAD

GUEST HOUSE PROPOSED EXTENSION TO EXISTING FC CLAD DWELLING WITH METAL ROOF

LAGOON ROAD

NEW TIMBER BOARDWALK TO EXISTING TRACK TO LAGOON ROAD

PROPOSED ACCESSIBLE PATH TO GUEST HOUSE & TRANSIT LOUNGE FROM CAR PARK

TRANSIT LOUNGE PROPOSED TRANSIT LOUNGE FC CLAD WITH METAL ROOF

PROPOSED BIKE STORAGE

PROPOSED SIGNAGE

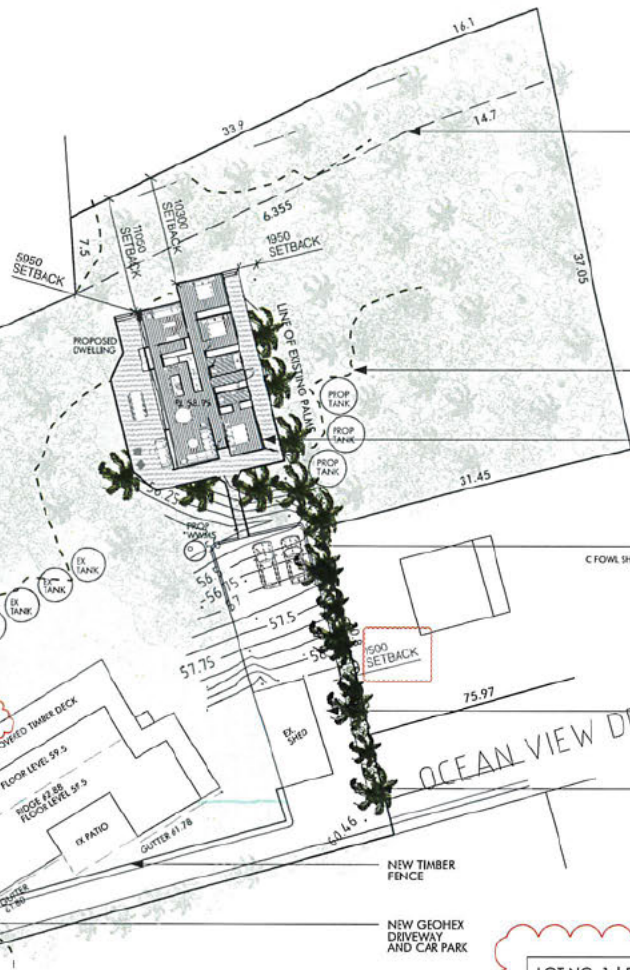
NEW TIMBER BOARDWALK TO LAGOON ROAD

ROAD

ROAD RL 50.00

284  
DP 48687

285  
DP 48687



LINE DENOTING PREVIOUS BOUNDARY

LINE DENOTING SNV MAPPING. OVER 60% OF LOT IS COVERED BY SNV.

DWELLING NEW DWELLING 3 BEDROOMS

NEW RETAINING WALL TO PROPOSED CAR PARK AS PER STRUCTURAL ENGINEER'S DETAIL. PROPOSED PARKING AND MANOEUVRING AREAS TO BE SET BACK A MINIMUM OF 1.5M OFF THE RESPECTIVE SITE BOUNDARIES. NEW NATIVE PLANTING TO PROVIDE SCREENING BETWEEN THE PROPOSED DRIVEWAY AND PARKING/MANOEUVRING AREAS AND THE SITE BOUNDARIES.

C FOWL SHELTER

NEW GEOHEX DRIVEWAY AND CAR PARK

NEW SIGNAGE

OCEAN VIEW DRIVE

NEW TIMBER FENCE  
NEW GEOHEX DRIVEWAY AND CAR PARK

LOT NO. 1   DP 1279044		6773 SQM
BUILT AREA SUMMARY - COMMERCIAL		
EX. DWELLING TO BECOME GUEST HOUSE (INC. DECKS)	214 SQM	
PROP. TRANSIT LOUNGE (INC. DECKS)	52 SQM	
TOTAL COMMERCIAL (INCLUDING ALL DECKS)	266 SQM	
BUILT AREA SUMMARY - RESIDENTIAL		
EXISTING SHED	30 SQM	
EXISTING DWELLING (INTERNAL)	150 SQM	
PROP. DWELLING - 3 BEDROOM (INTERNAL)	142 SQM	
PROP. DOUBLE GARAGE	36 SQM	
TOTAL RESIDENTIAL	378 SQM	

ROOM ON FIRE

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DEVELOPMENT APPLICATION

LOT NO. 1 | DP 1279044  
LEASE NO. 2022.01

DATE	ISSUE	REVISION
14.10.22	DA	A
08.06.23	DA	B
16.01.24	DA	C



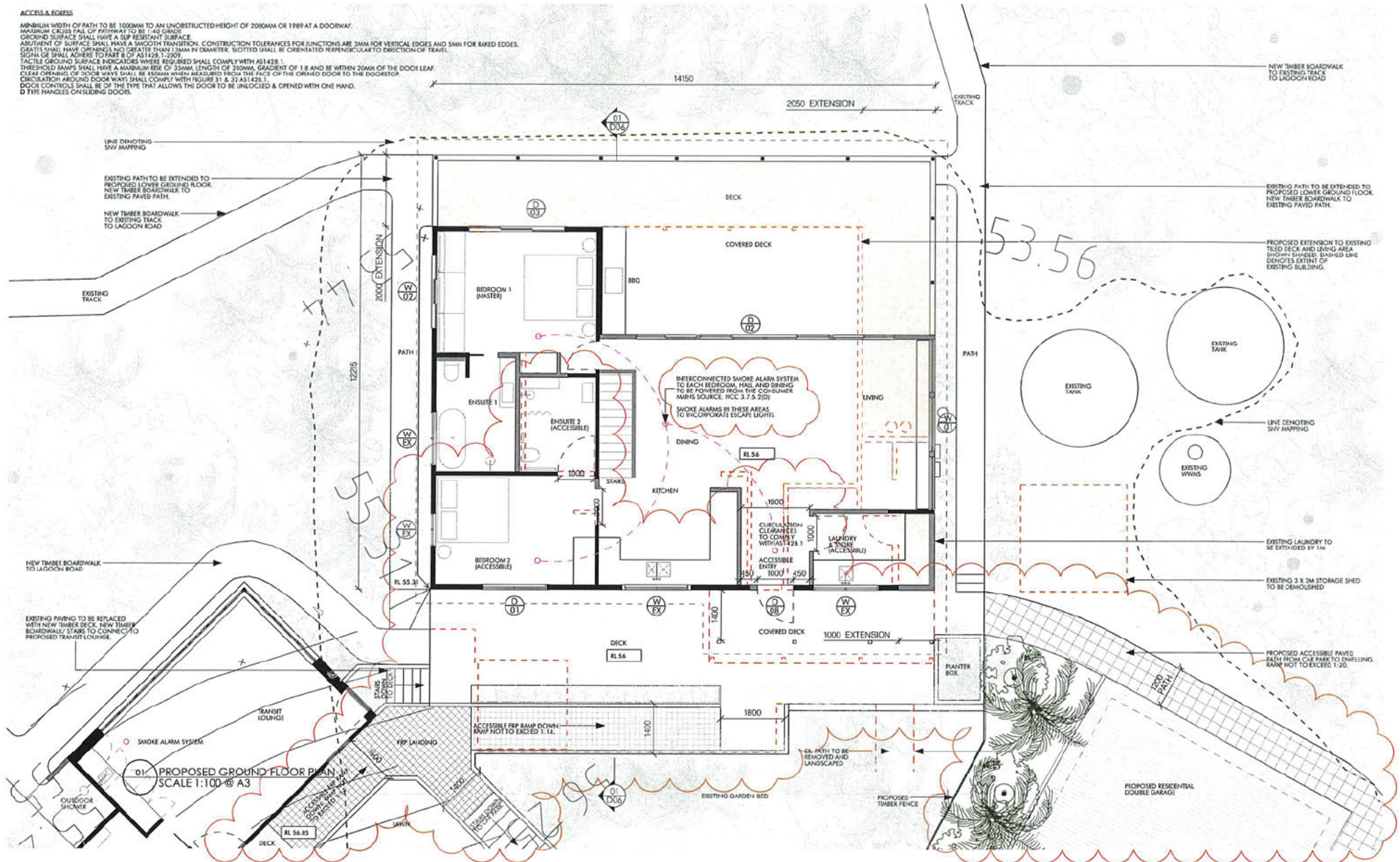
PROPOSED SITE PLAN

PROJECT NO. 035  
SCALE: AS 1:500  
DWG NO. DA-01  
DRAWN CM  
ISSUE DA



**ACCESS & EGRESS**

MINIMUM WIDTH OF PATH TO BE 1000MM TO AN UNOBSTRUCTED HEIGHT OF 2000MM OR 1800 AT A DOORWAY.  
 MAXIMUM CRACK FALL OF PATHWAY TO BE 1:40 GRADE.  
 GROUND SURFACE SHALL HAVE A SLP RESISTANT SURFACE.  
 ABUTMENT OF SURFACE SHALL HAVE A SMOOTH TRANSITION. CONSTRUCTION TOLERANCES FOR JUNCTIONS ARE 3MM FOR VERTICAL EDGES AND 5MM FOR RAKED EDGES.  
 GRATES SHALL HAVE OPENINGS NO GREATER THAN 175MM IN DIAMETER. SCOTTED SHALL BE ORIENTATED PERPENDICULAR TO DIRECTION OF TRAVEL.  
 SIGNALS SHALL ADHERE TO PART 8 OF AS 1428.1-2009.  
 TACTILE GROUND SURFACE INDICATORS WHERE REQUIRED SHALL COMPLY WITH AS 1428.1.  
 THRESHOLD RAMP SHALL HAVE A MAXIMUM RISE OF 35MM, LENGTH OF 200MM, GRADIENT OF 1:8 AND BE WITHIN 200MM OF THE DOOR LEAF.  
 CLEAR OPENING OF DOORWAYS SHALL BE 900MM MEASURED FROM THE FACE OF THE OPENED DOOR TO THE DOORSTOP.  
 CIRCULATION AROUND DOORWAYS SHALL COMPLY WITH FIGURE 31 & 32 AS 1428.1.  
 DOOR CONTROLS SHALL BE OF THE TYPE THAT ALLOWS THE DOOR TO BE UNLOCKED & OPENED WITH ONE HAND.  
 D TYPE HANDLES ON SLEEPING DOORS.



**ROOM ON FIRE**



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**DEVELOPMENT APPLICATION**

LOT NO 1 | DP 1279944  
 (CASE NO. 2022 01)

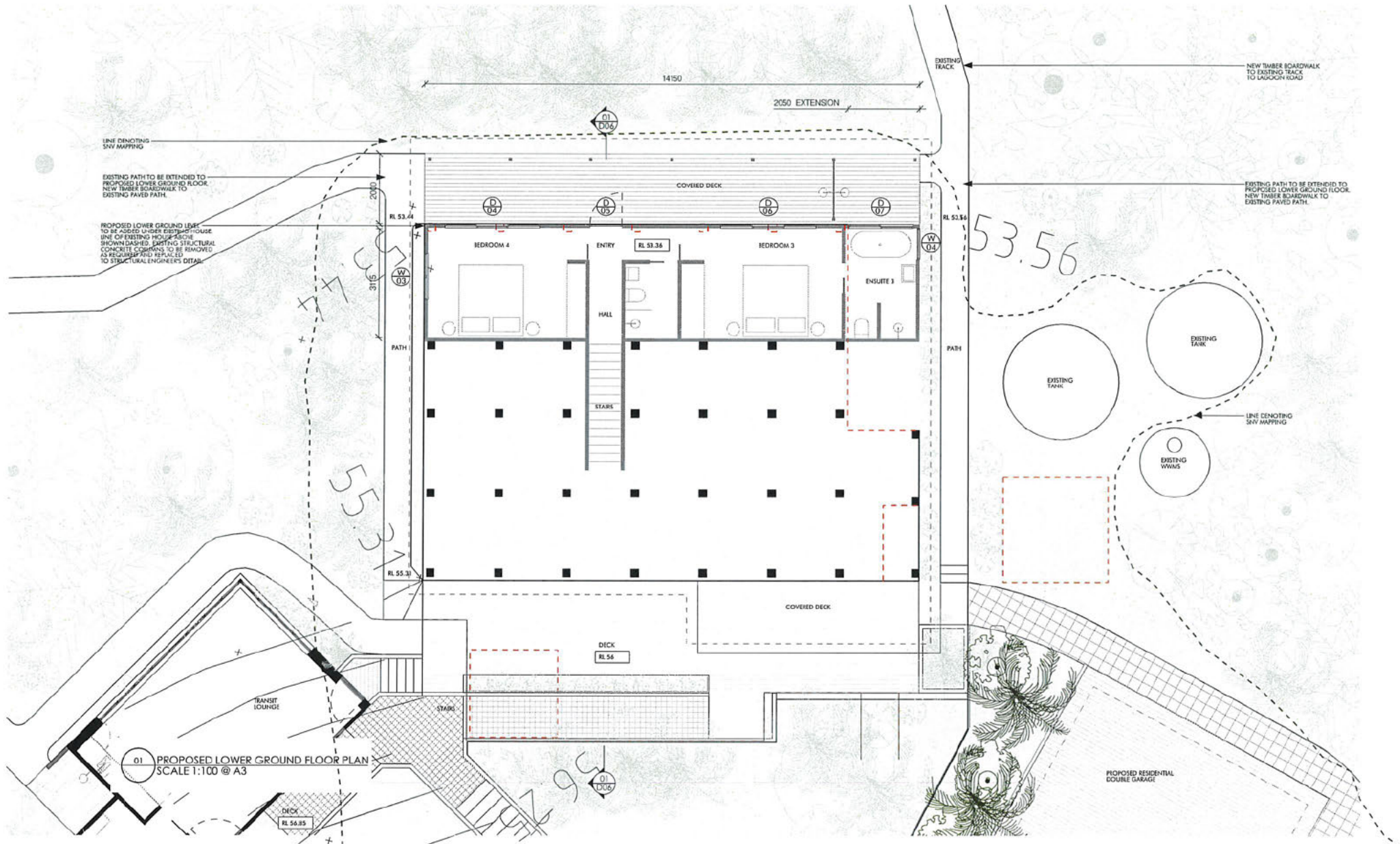
DATE	ISSUE	REVISION
14.10.22	DA	A
08.01.23	DA	A
16.01.24	DA	B



**GUEST HOUSE  
 PROPOSED GROUND FLOOR PLAN**

PROJECT NO 035  
 SCALE @ A3  
 1 : 100  
 DWG NO DA-02  
 DRAWN CM  
 ISSUE  
 8





ROOM ON FIRE

ALL WORKS TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC), AUSTRALIAN STANDARDS, AND WITH MANUFACTURERS RECOMMENDATIONS AND INSTRUCTIONS. ALL DEVELOPMENT TO COMPLY WITH NCC 3022 GENERAL HOUSING SPECIFICATIONS.

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DEVELOPMENT APPLICATION

LOT NO. 1 | DP 1279044  
LEASE NO. 2027.01

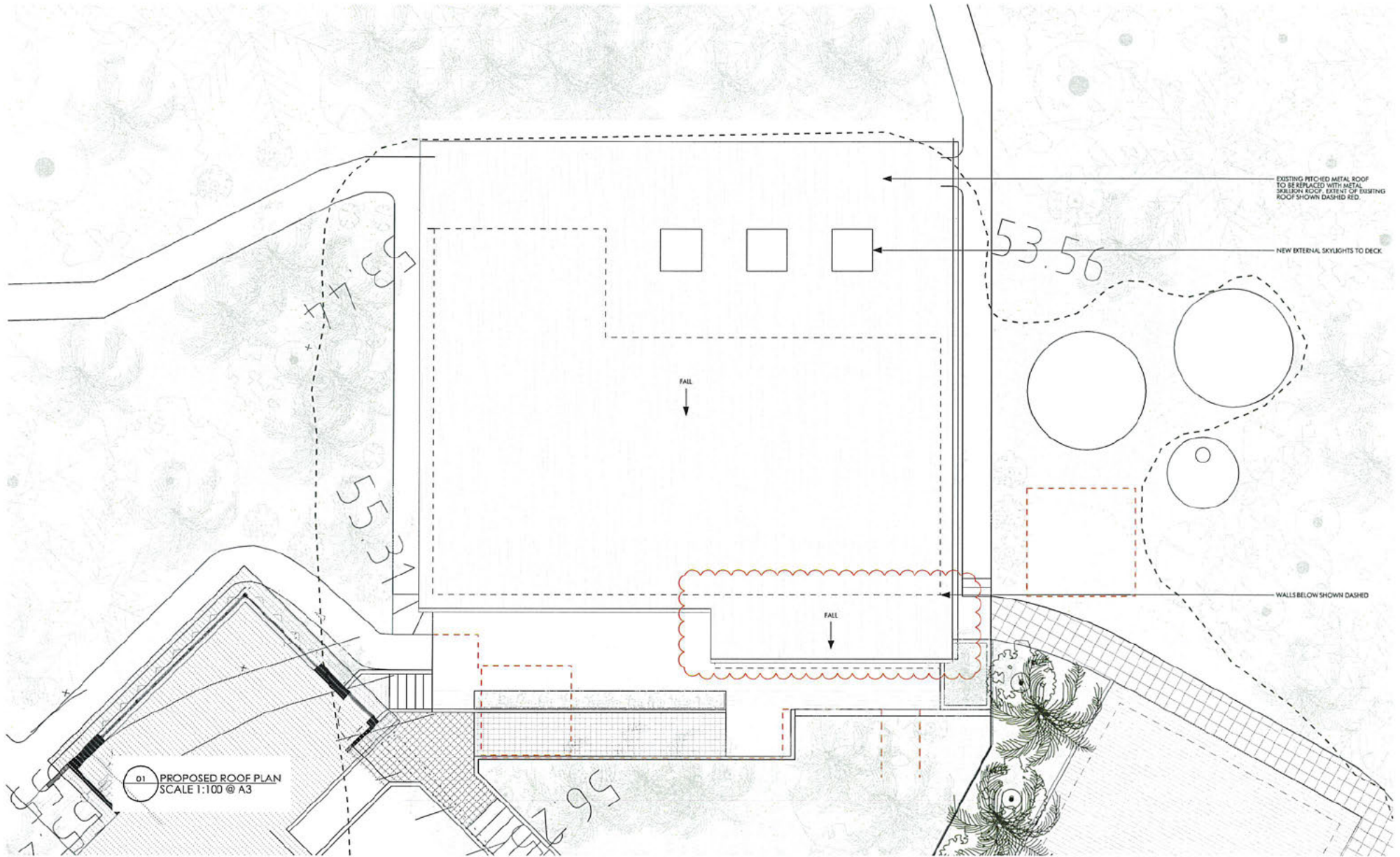
DATE	ISSUE	REVISION
14.10.22	DA	A
09.06.23	DA	A
16.01.24	DA	B

GUEST HOUSE  
PROPOSED LOWER GROUND FLOOR PLAN

PROJECT NO. 035  
DRAWN CM

SCALE @ A3  
1 : 100

DWG NO. DA-03  
ISSUE DA



ROOM ON FIRE



17

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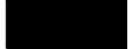
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DEVELOPMENT APPLICATION

LOT NO. 1 | DP 1279944  
LEASE NO. 2022.01



DATE	ISSUE	REVISION
14.10.22	DA	A
08.08.22	DA	A
16.01.24	DA	B



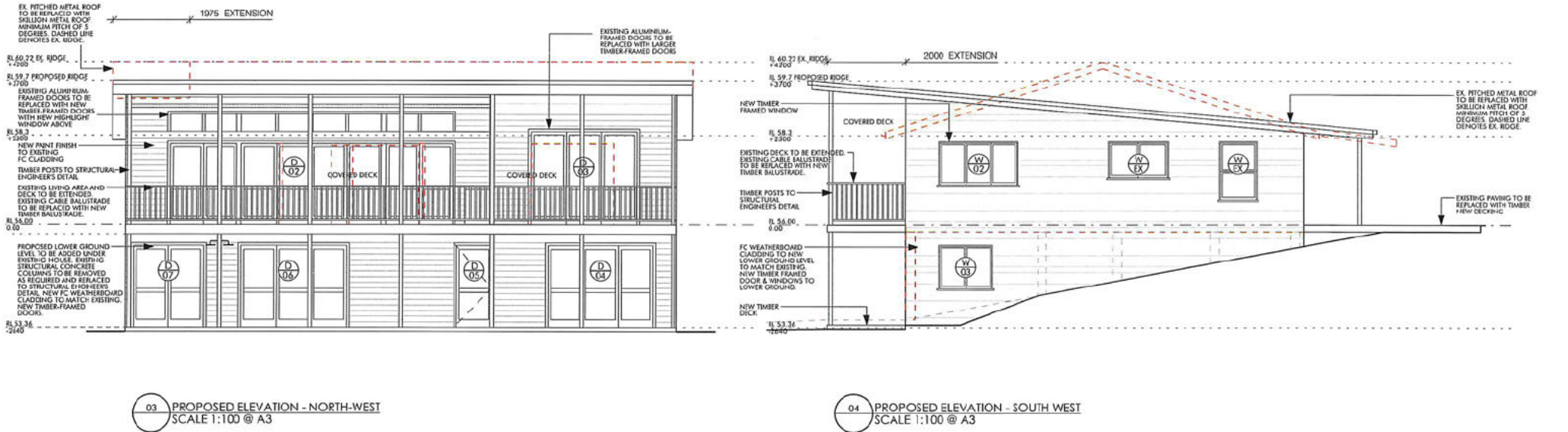
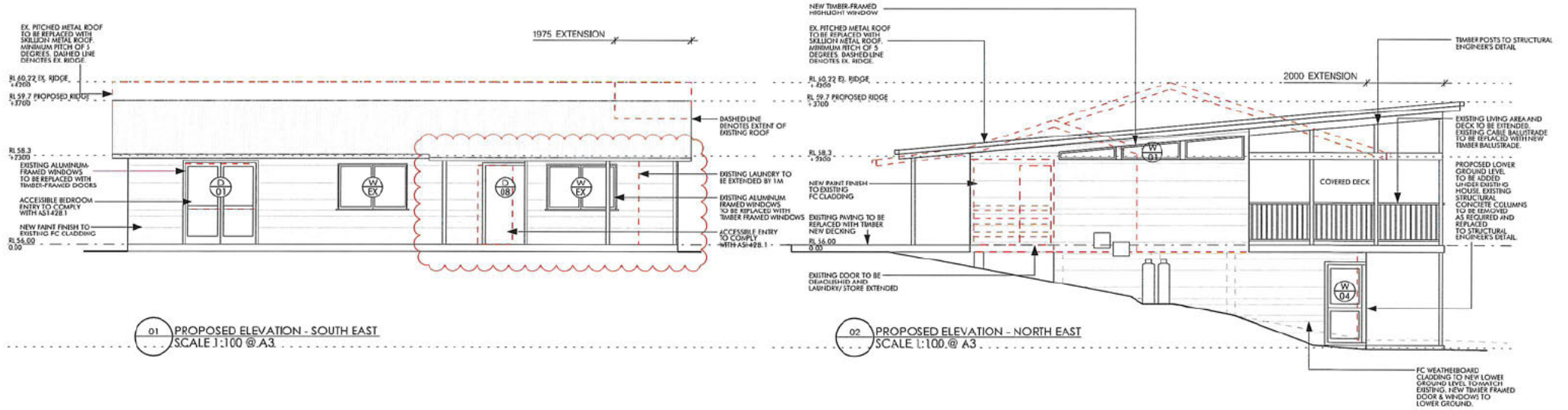
GUEST HOUSE  
PROPOSED ROOF PLAN

PROJECT NO. 035 DRAWN CM

SCALE@A3 1 : 100

DWG NO. DA-04 ISSUE DA





**ROOM ON FIRE**

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**DEVELOPMENT APPLICATION**

LOT NO. 1 | DP 1279844  
LEASE NO. 2022.01

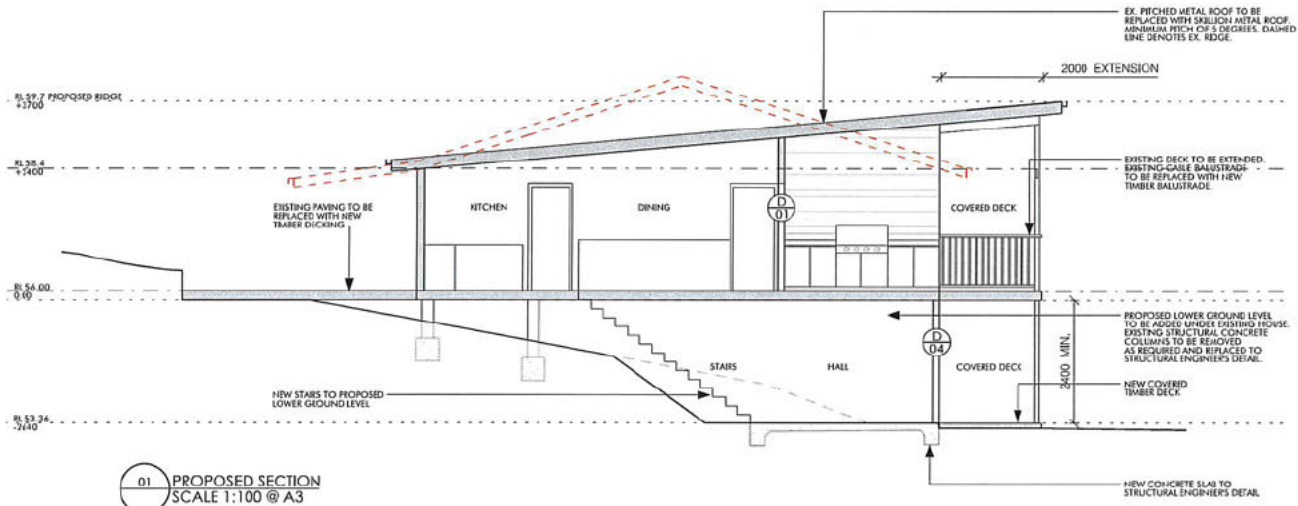
DATE	ISSUE	REVISION
14.10.22	DA	A
08.05.23	DA	A
16.01.24	DA	B

**GUEST HOUSE  
PROPOSED ELEVATIONS**

PROJECT NO. 035  
DRAWN CM

SCALE @ A3  
1 : 100

DWG NO. DA-05  
ISSUE DA



D1 PROPOSED SECTION  
SCALE 1:100 @ A3

ROOM ON FIRE

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DEVELOPMENT APPLICATION

LOT NO. 1 | DP 1279044  
LEASE NO. 2022.01

DATE	ISSUE	REVISION
14.10.22	DA	A
08.06.23	DA	A
16.01.24	DA	B

GUEST HOUSE  
PROPOSED SECTION

PROJECT NO.  
035

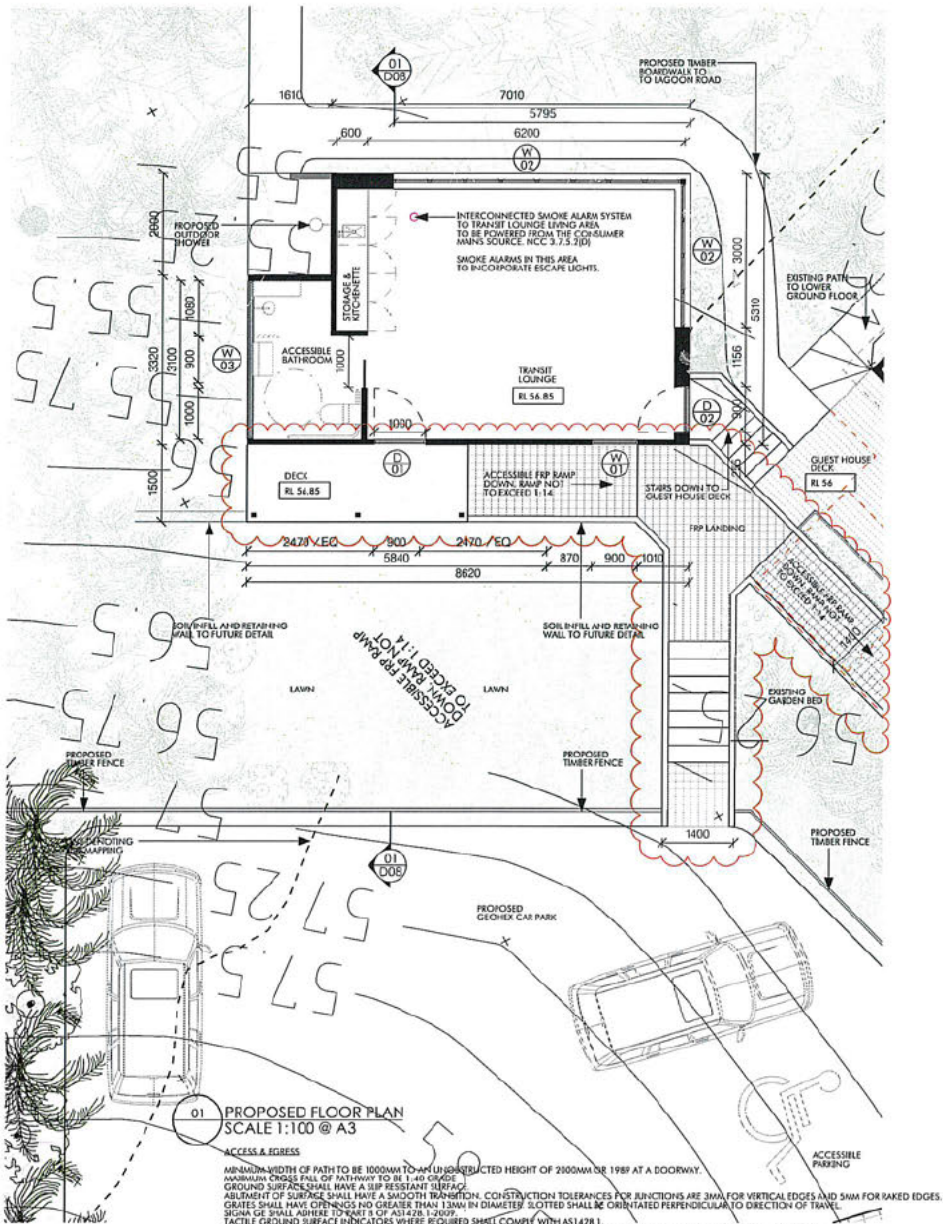
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SCALE@A3  
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DWG NO.  
DA-06

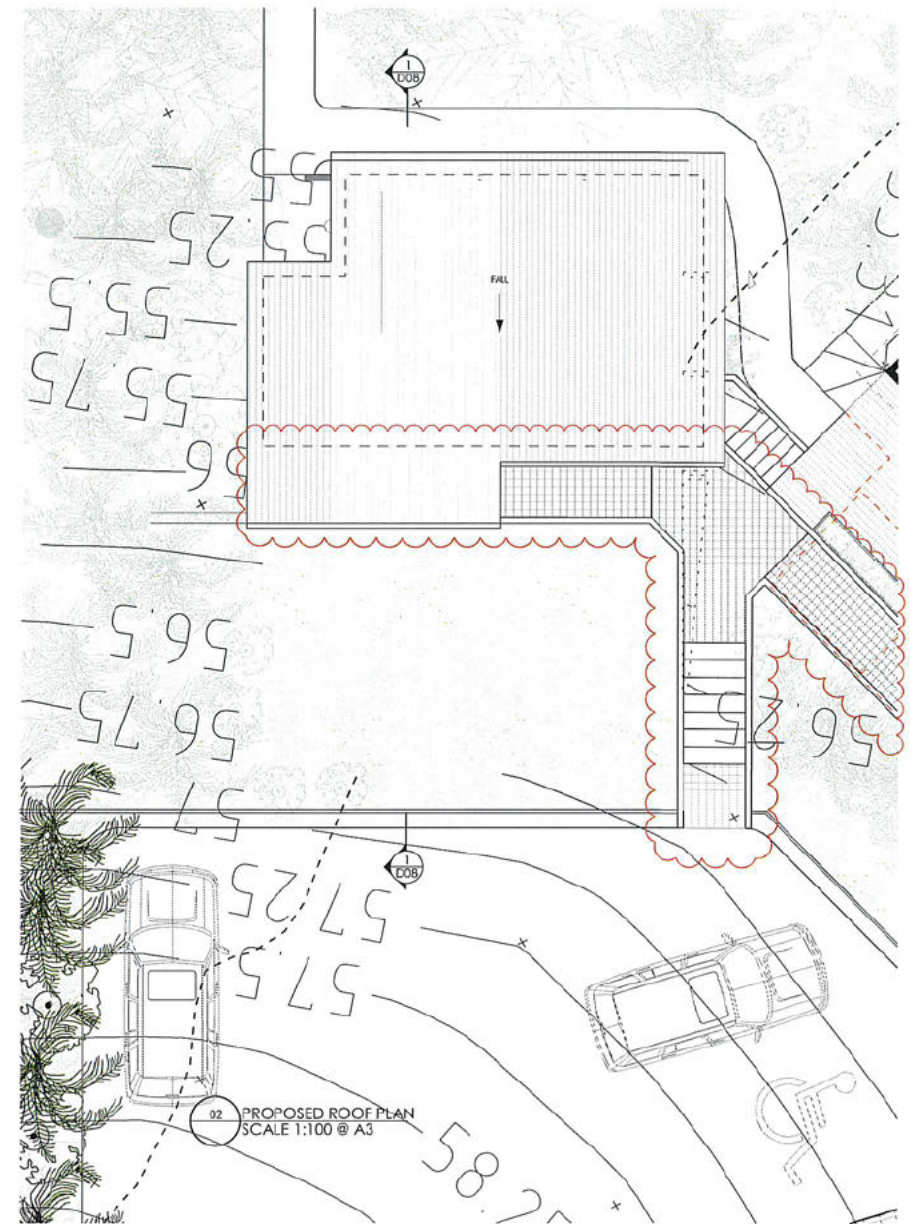
ISSUE  
DA





01 PROPOSED FLOOR PLAN  
SCALE 1:100 @ A3

ACCESS & EGRESS  
MINIMUM WIDTH OF PATH TO BE 1000MM TO MINIMUM UNOBSTRUCTED HEIGHT OF 2000MM OR 1989 AT A DOORWAY.  
MINIMUM CROSS FALL OF PATHWAY TO BE 1:40 GRADE.  
GROUND SURFACES SHALL HAVE A SLIP RESISTANT SURFACE.  
ALIGNMENT OF SURFACE SHALL HAVE A SMOOTH TRANSITION. CONSTRUCTION TOLERANCES FOR JUNCTIONS ARE 3MM FOR VERTICAL EDGES AND 5MM FOR RAKED EDGES.  
GRATES SHALL HAVE OPENINGS NO GREATER THAN 13MM IN DIAMETER. SLOTTED SHALL BE ORIENTATED PERPENDICULAR TO DIRECTION OF TRAVEL.  
SIGNAGE SHALL ADHERE TO TYPE 1 OF AS1428.1:2007.  
TACTILE GROUND SURFACE INDICATORS WHERE REQUIRED SHALL COMPLY WITH AS1428.1.  
THRESHOLD RAMPS SHALL HAVE A MAXIMUM RISE OF 15MM, LENGTH OF 1800MM, GRADIENT OF 1:8 AND BE WITHIN 20MM OF THE DOOR LEAF.  
CLEAR OPENINGS OF DOORWAYS SHALL BE 850MM WHEN MEASURED FROM THE FACE OF THE OPENED DOOR TO THE DOORSTOP.  
CIRCULATION AROUND DOORWAYS SHALL COMPLY WITH FIGURE 31 & 32 AS1428.1.  
DOOR CONTROLS SHALL BE OF THE TYPE THAT ALLOWS THE DOOR TO BE UNLOCKED & OPENED WITH ONE HAND.  
D TYPE HANDLES ON SLIDING DOORS.



02 PROPOSED ROOF PLAN  
SCALE 1:100 @ A3

ROOM ON FIRE

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DEVELOPMENT APPLICATION

LOT NO. 1 | DP 1279044  
LEASE NO. 7077.01

DATE	ISSUE	REVISION
14.10.22	DA	A
08.05.23	DA	B
16.01.24	DA	C

TRANSIT LOUNGE  
PROPOSED FLOOR PLAN & ROOF PLAN

PROJECT NO  
035

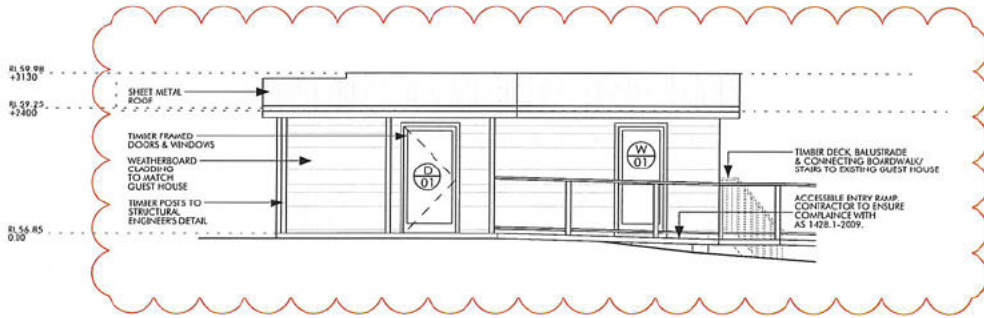
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SCALE @ A3  
1:100

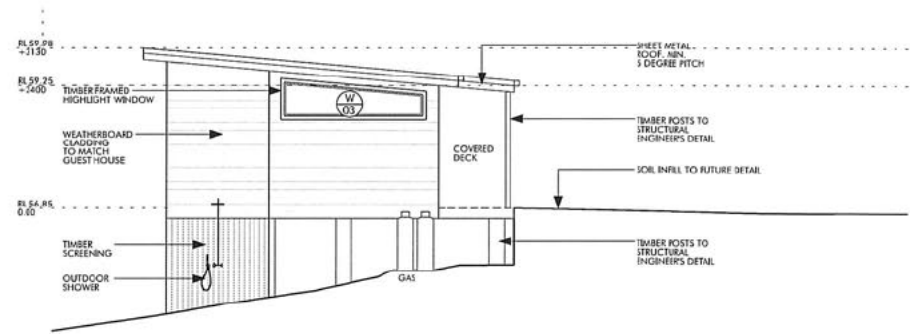
DWG NO  
DA-07

ISSUE  
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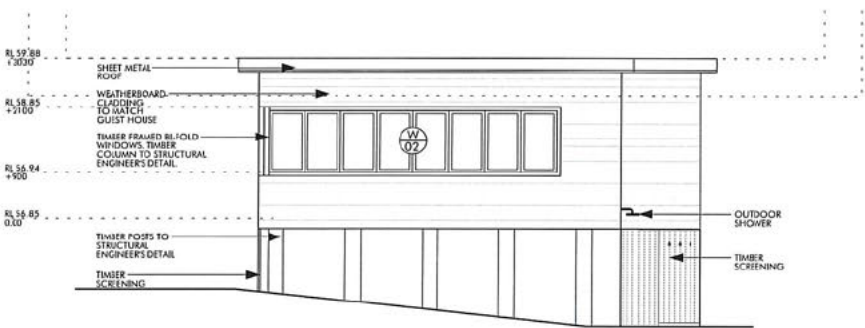




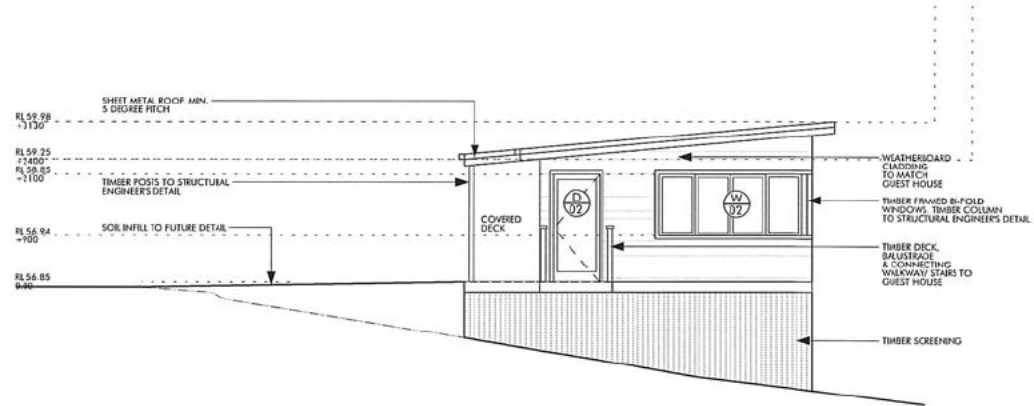
01 PROPOSED ELEVATION - EAST  
SCALE 1:100 @ A3



02 PROPOSED ELEVATION - SOUTH  
SCALE 1:100 @ A3



03 PROPOSED ELEVATION - WEST  
SCALE 1:100 @ A3



04 PROPOSED ELEVATION - NORTH  
SCALE 1:100 @ A3

ROOM ON FIRE

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LOT NO. 1 | DP 1279044

LEASE NO. 2023/01

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TRANSIT LOUNGE  
PROPOSED ELEVATIONS

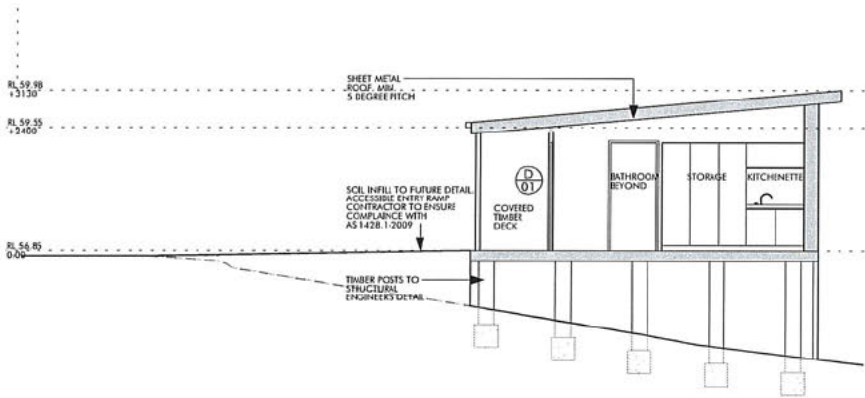
PROJECT NO.  
035

SCALE @ A3  
1:100

DWG NO.  
DA-08

DRAWN  
CM

ISSUE  
DA



01 PROPOSED SECTION  
SCALE 1:100 @ A3

ROOM ON FIRE

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DEVELOPMENT APPLICATION

LOT NO. 1 | DP 1279044  
LEASE NO. 2027.01

DATE	ISSUE	REVISION
14.10.22	DA	A
08.06.23	DA	B
16.01.24	DA	B

TRANSIT LOUNGE  
PROPOSED SECTION

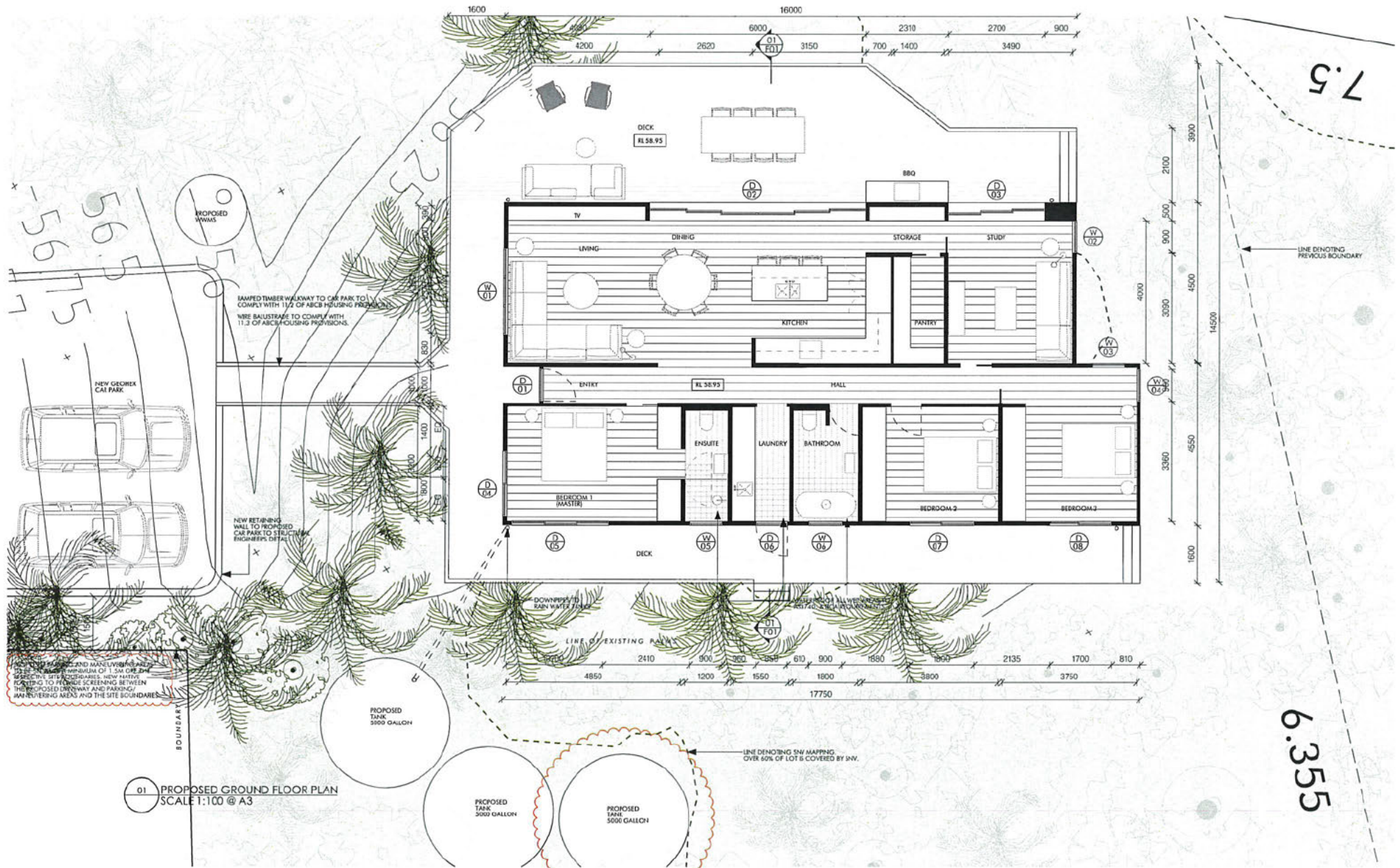
PROJECT NO.  
035

DRAWN  
CM

SCALE @ A3  
1:100

DWG NO.  
DA-09

ISSUE  
DA



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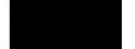
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DEVELOPMENT APPLICATION

LOT NO. 1 | DP 1279944  
LEASE NO. 2022 01



DATE	ISSUE	REVISION
14.10.22	DA	A
08.06.23	DA	A
16.01.24	DA	B



NEW DWELLING  
PROPOSED GROUND FLOOR PLAN

PROJECT NO  
035

SCALE @ A3  
1:100

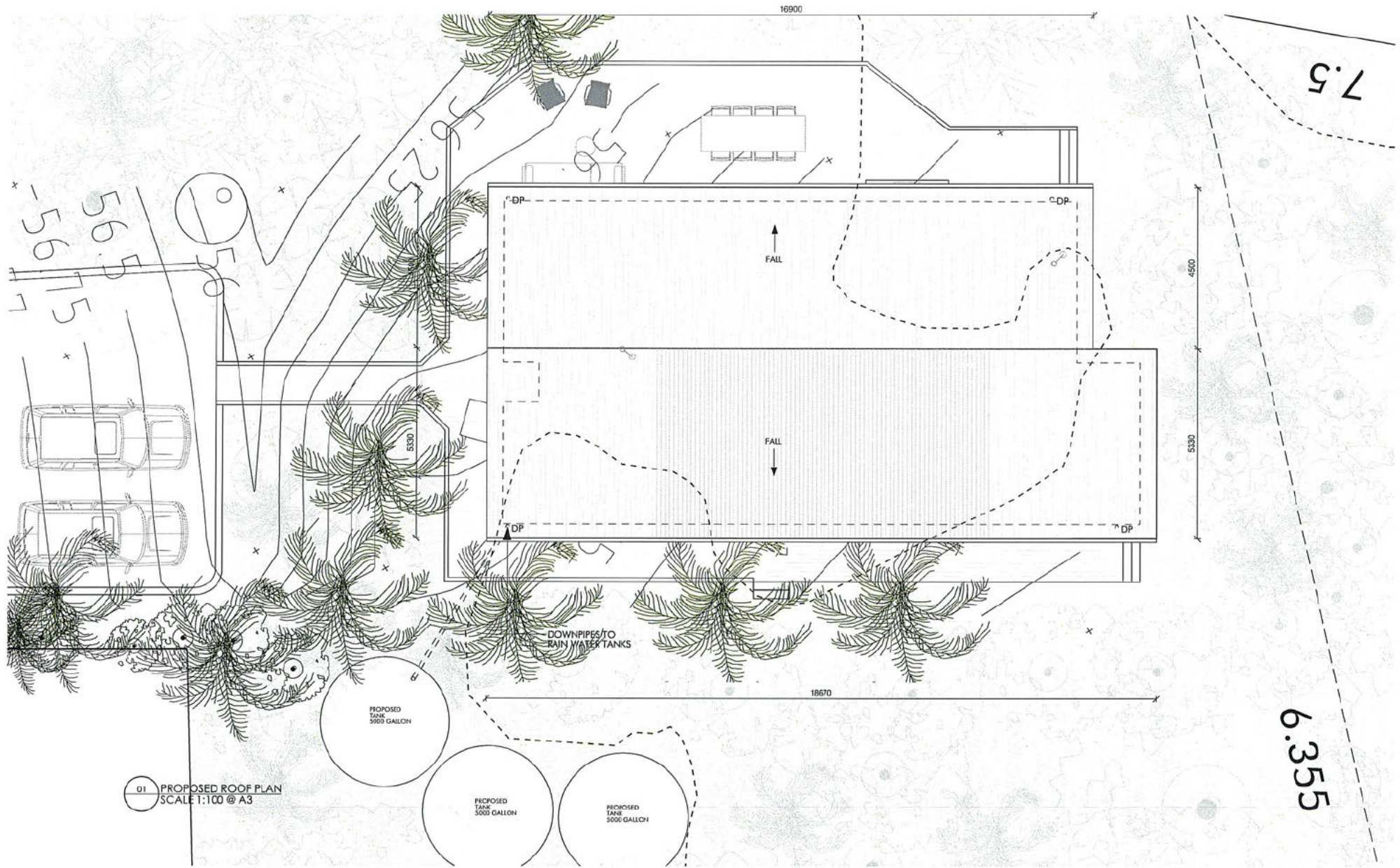
DWG NO  
DA-10

DRAWN  
CM

ISSUE  
DA

6.355





01 PROPOSED ROOF PLAN  
SCALE 1:100 @ A3

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DEVELOPMENT APPLICATION

LOT NO. 1 | DP 1279044  
LEASE NO. 2077 01

DATE	ISSUE	REVISION
14.10.22	DA	A
08.06.23	DA	A
16.01.24	DA	B



NEW DWELLING  
PROPOSED ROOF PLAN

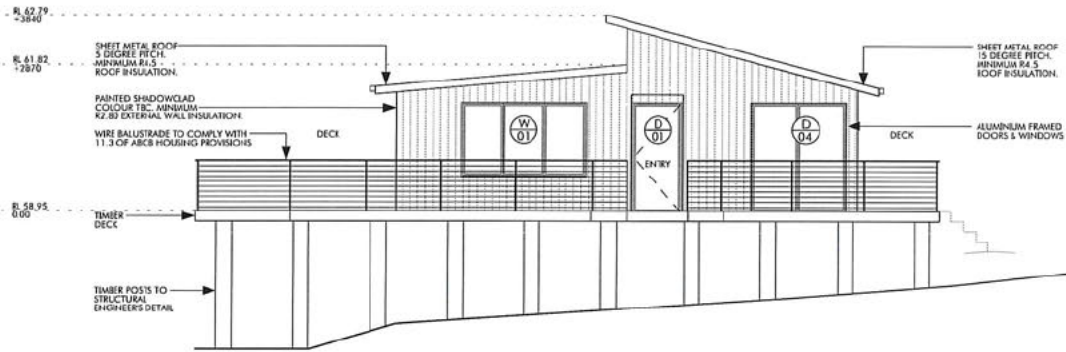
PROJECT NO.  
035

DRAWN  
CM

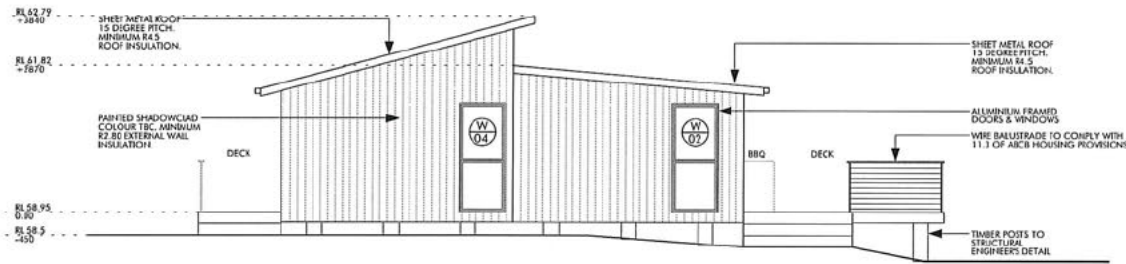
SCALE@01  
1: 100

DWG NO.  
DA-11

ISSUE  
DA



01 PROPOSED ELEVATION - SOUTH  
SCALE 1:100 @ A3



02 PROPOSED ELEVATION - NORTH  
SCALE 1:100 @ A3

ROOM ON FIRE

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DEVELOPMENT APPLICATION

LOT NO. 1 | DP 1279044  
LEASE NO. 2027.01

DATE	ISSUE	REVISION
14.10.22	DA	A
08.05.23	DA	A
16.01.24	DA	B

NEW DWELLING  
PROPOSED ELEVATIONS  
NORTH & SOUTH

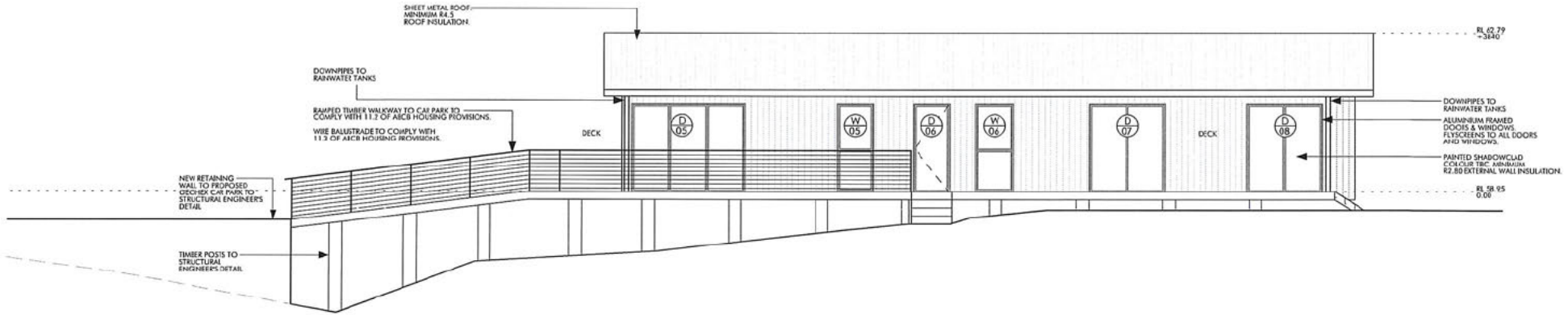
PROJECT NO.  
035

DRAWN  
CM

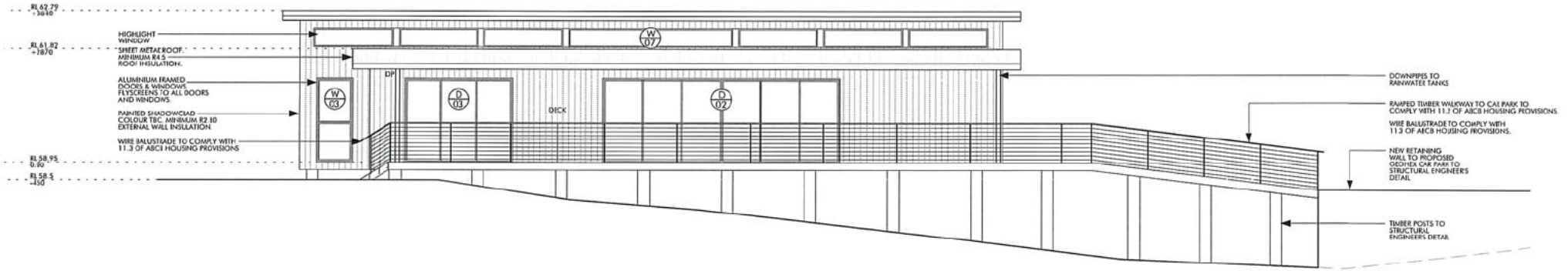
SCALE@A3  
1:100

DWG NO.  
DA-12

ISSUE  
DA



01 PROPOSED ELEVATION - EAST  
SCALE 1:100 @ A3



02 PROPOSED ELEVATION - WEST  
SCALE 1:100 @ A3

ROOM ON FIRE  
[Redacted]

ALL WORKS TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC), AUSTRALIAN STANDARDS, AND WITH MANUFACTURERS RECOMMENDATIONS AND INSTRUCTIONS. ALL DEVELOPMENT TO COMPLY WITH NCC 9.2.2 GENERAL HOUSING SPECIFICATIONS.  
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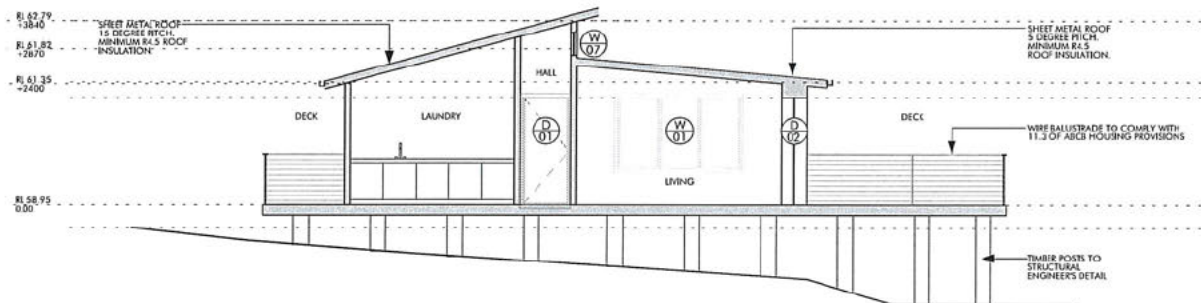
DEVELOPMENT APPLICATION  
LOT NO. 1 | DP 1279044  
[Redacted] (CASE NO. 2022 0)

DATE	ISSUE	REVISION
14.10.22	DA	A
08.01.23	DA	A
16.01.24	DA	B

NEW DWELLING  
PROPOSED ELEVATIONS  
EAST & WEST

PROJECT NO. 035  
DRAWN CM  
SCALE @ A1 1:100  
DWG NO DA-13  
ISSUE DA





01 PROPOSED ELEVATION - SOUTH  
SCALE 1:100 @ A3

ROOM ON FIRE



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DEVELOPMENT APPLICATION

LOT NO. 1 | DP 1279044  
LEASE NO. 7077.01



DATE	ISSUE	REVISION
14.10.22	DA	A
08.05.23	DA	A
16.01.24	DA	B

NEW DWELLING  
PROPOSED SECTION

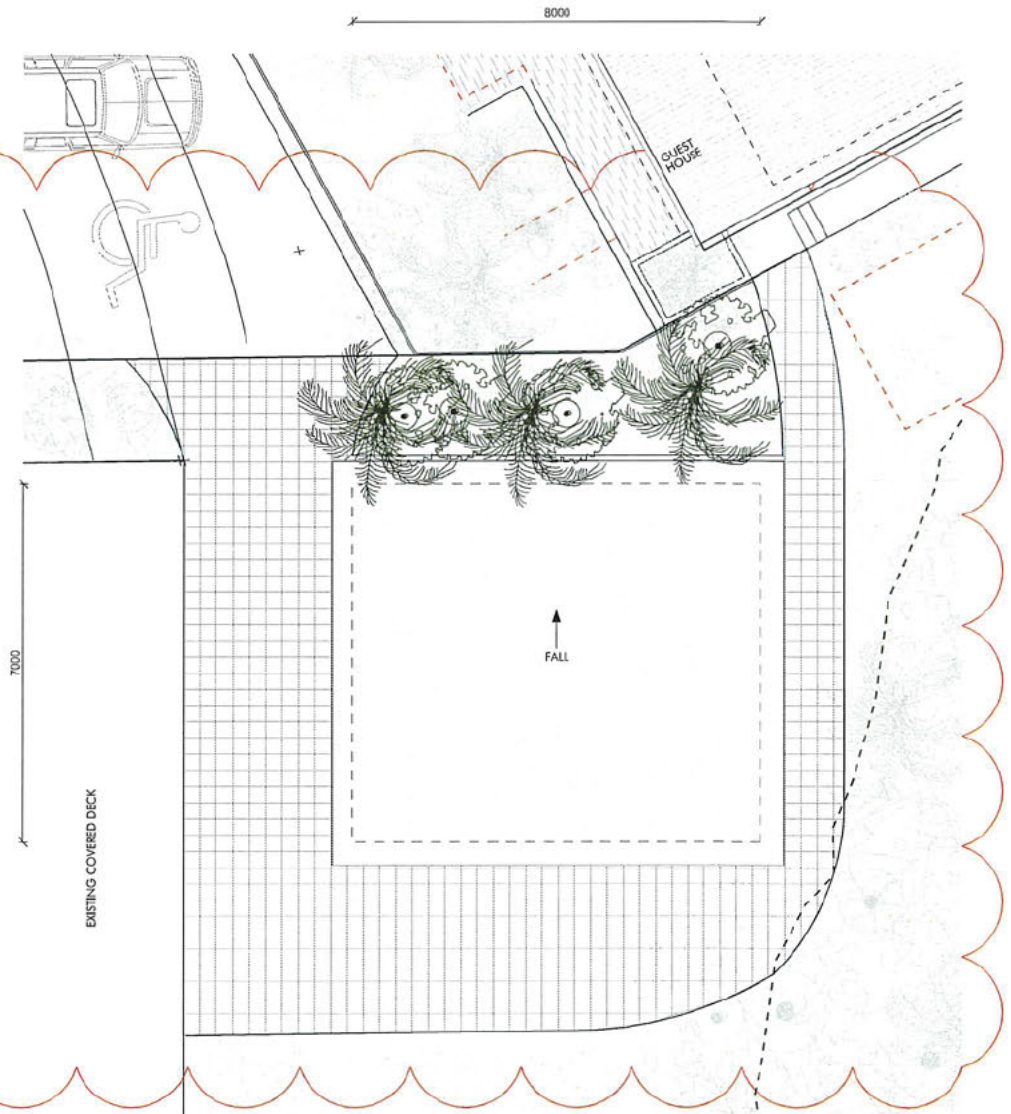
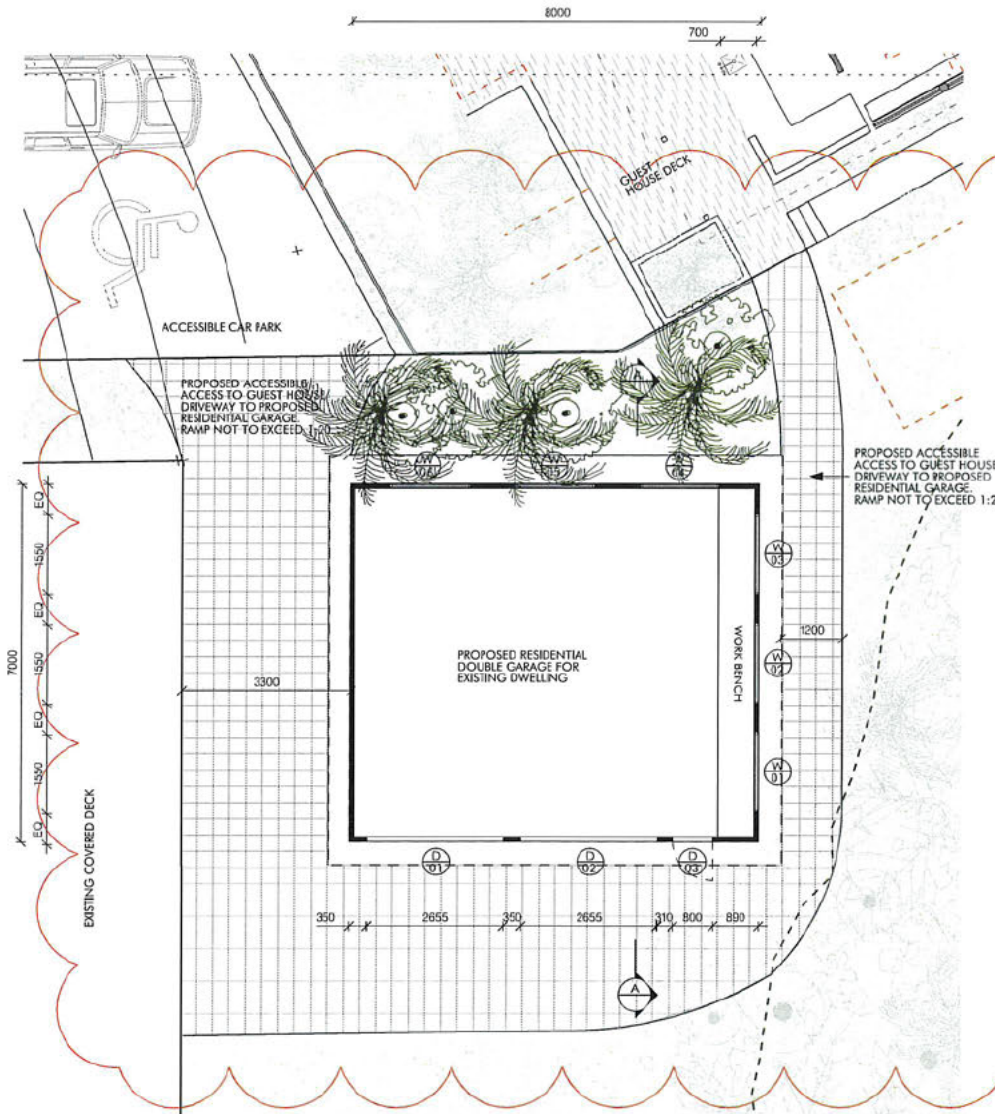
PROJECT NO  
035

DRAWN  
CM

SCALE@A3  
1:100

DWG NO  
DA-14

ISSUE  
DA



01 PROPOSED FLOOR PLAN  
SCALE 1:100 @ A3

ACCESS & EGRESS  
MINIMUM WIDTH OF PATH TO BE 1000MM TO AN UNOBSTRUCTED HEIGHT OF 2000MM OR 1981 AT A DOORWAY.  
MAXIMUM CROSS FALL OF PATHWAY TO BE 1:40 GRADE.  
GROUND SURFACE SHALL HAVE A SLIP RESISTANT SURFACE.  
ADJUSTMENT OF SURFACE SHALL HAVE A SMOOTH TRANSITION. CONSTRUCTION TOLERANCES FOR JUNCTIONS ARE 3MM FOR VERTICAL EDGES AND 5MM FOR SAVED EDGES.  
GRATES SHALL HAVE OPENINGS NO GREATER THAN 13MM IN DIAMETER. SLOTTED SHALL BE ORIENTATED PERPENDICULAR TO DIRECTION OF TRAVEL.  
SIGNAGE SHALL ADHERE TO PART 1 OF AS 428 1:2007.  
TACTILE GROUND SURFACE INDICATORS WHERE REQUIRED SHALL COMPLY WITH AS 1428.1.  
THRESHOLD RAMPS SHALL HAVE A MAXIMUM RISE OF 35MM, LENGTH OF 280MM, GRADIENT OF 1:8 AND BE WITHIN 20MM OF THE DOOR LEAF.  
CLEAR OPENING OF DOORWAYS SHALL BE 850MM WHEN MEASURED FROM THE FACE OF THE OPENED DOOR TO THE DOORSTOP.  
CIRCULATION AROUND DOORWAYS SHALL COMPLY WITH FIGURE 31 & 32 AS 1428.1.  
DOOR CONTROLS SHALL BE OF THE TYPE THAT ALLOWS THE DOOR TO BE UNLOCKED & OPENED WITH ONE HAND.  
D TYPE HANDLES ON SLIDING DOORS.

02 PROPOSED ROOF PLAN  
SCALE 1:100 @ A3

ROOM ON FIRE

█

1/1

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DEVELOPMENT APPLICATION

LOT NO. 1 | DP 127944  
LEASE NO. 2021.01

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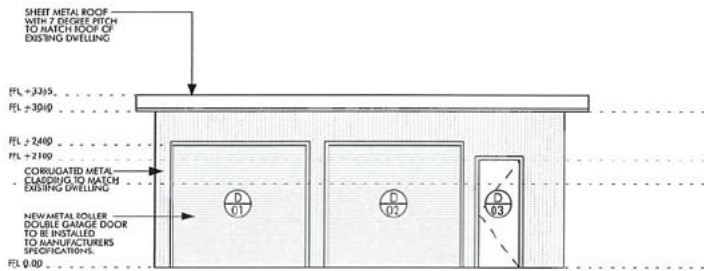
DATE	ISSUE	REVISION
16.01.24	REVIEW	A



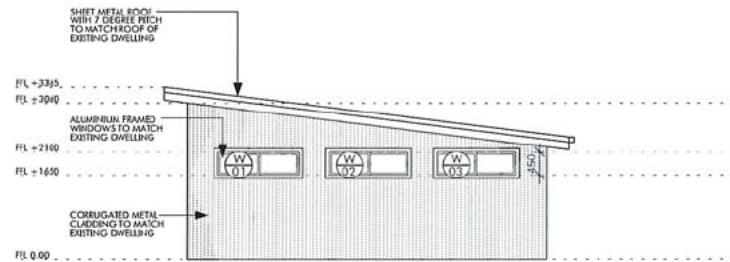
RESIDENTIAL GARAGE  
PROPOSED FLOOR PLAN & ROOF PLAN

PROJECT NO.	DRAWN
035	CM
SCALE @ A3	
1 : 100	
DWG NO.	ISSUE
DA-15	DA

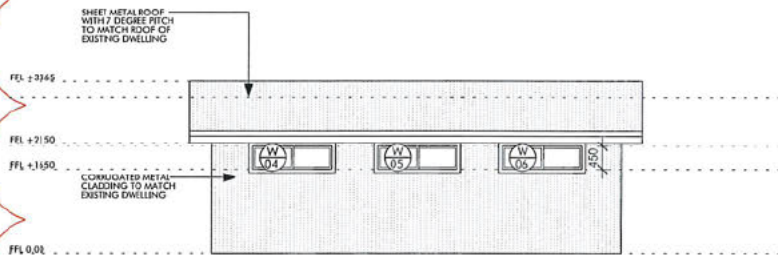




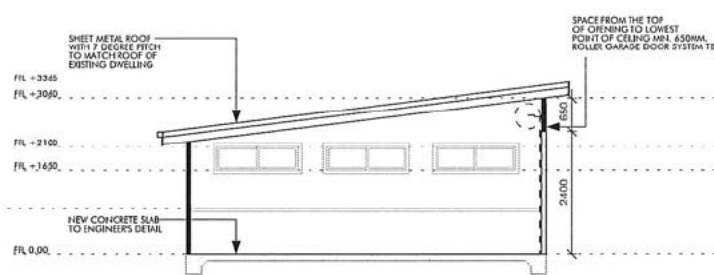
01 PROPOSED ELEVATION - EAST  
SCALE 1:100 @ A3



02 PROPOSED ELEVATION - NORTH  
SCALE 1:100 @ A3



03 PROPOSED ELEVATION - WEST  
SCALE 1:100 @ A3



04 PROPOSED ELEVATION - SECTION  
SCALE 1:100 @ A3

ROOM ON FIRE

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DEVELOPMENT APPLICATION

LOT NO. 1 | DP 1279044  
LEASE NO. 2072.01

DATE 16.01.24

ISSUE DA

REVISION A

RESIDENTIAL GARAGE  
PROPOSED ELEVATIONS  
& SECTION

PROJECT NO.  
035

SCALE @ A3  
1: 100

DWG NO.  
DA-16

DRAWN  
CM

ISSUE  
DA

EXISTING METAL CLAD DWELLING WITH METAL ROOF

286  
DP 48695

NEW TIMBER FENCE

EXISTING PATH TO BE REMOVED AND LANDSCAPED. NEW BOARDWALK ENTRY PATH. PROPOSED ACCESSIBLE PATH TO GUEST HOUSE

LINE DENOTING SNV MAPPING. OVER 60% OF LOT IS COVERED BY SNV.

NEW TIMBER BOARDWALK TO EXISTING TRACK TO LAGOON ROAD

GUEST HOUSE PROPOSED EXTENSION TO EXISTING FC CLAD DWELLING WITH METAL ROOF

LAGOON

NEW TIMBER BOARDWALK TO EXISTING TRACK TO LAGOON ROAD

TRANSIT LOUNGE PROPOSED TRANSIT LOUNGE FC CLAD WITH METAL ROOF

PROPOSED BIKE STORAGE

PROPOSED SIGNAGE

NEW TIMBER BOARDWALK TO LAGOON ROAD

ROAD R/L 50.00



LINE DENOTING PREVIOUS BOUNDARY

LINE DENOTING SNV MAPPING. OVER 60% OF LOT IS COVERED BY SNV.

DWELLING NEW DWELLING 3 BEDROOMS

NEW RETAINING WALL TO PROPOSED CAR PARK AS PER STRUCTURAL ENGINEERS DETAIL PROPOSED PARKING AND MANOEUVRING AREAS TO BE SET BACK A MINIMUM OF 1.5M OFF THE RESPECTIVE SITE BOUNDARIES. NEW NATIVE PLANTING TO PROVIDE SCREENING BETWEEN THE PROPOSED DRIVEWAY AND PARKING/MANOEUVRING AREAS AND THE SITE BOUNDARIES.

C FOWL SHELTER

NEW GEOHEX DRIVEWAY AND CAR PARK

NEW SIGNAGE

OCEAN VIEW DRIVE

LOT NO. 1   DP 1279044	6773 SQM
BUILT AREA SUMMARY - COMMERCIAL	
EX. DWELLING TO BECOME GUEST HOUSE (INC. DECKS)	214 SQM
PROP. TRANSIT LOUNGE (INC. DECKS)	52 SQM
TOTAL COMMERCIAL (INCLUDING ALL DECKS)	266 SQM
BUILT AREA SUMMARY - RESIDENTIAL	
EXISTING SHED	30 SQM
EXISTING DWELLING (INTERNAL)	150 SQM
PROP. DWELLING - 3 BEDROOM (INTERNAL)	142 SQM
PROP. DOUBLE GARAGE	56 SQM
TOTAL RESIDENTIAL	378 SQM

284  
DP 48687

285  
DP 48687

ROOM ON FIRE

F

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DEVELOPMENT APPLICATION

LOT NO. 1 | DP 1279044  
(EASE NO. 2022 01)

DATE	ISSUE	REVISION
14/10/22	DA	A
08/08/23	DA	B
18/01/24	DA	C



PROPOSED SITE PLAN

PROJECT NO. 035  
DRAWN: CA  
SCALE(S): 1:500  
DWG NO: DA-01  
ISSUE: DA