

# LORD HOWE ISLAND BOARD

## Development Application

Section 4.12, Environmental Planning and Assessment Act 1979

Date Received:

Development Application No.: DA2022.1 Date Lodged: 14/01/2022

Use this form to apply for development consent to:

- Erect, alter or demolish a building or structure;
- Change the use of land or a building;
- Subdivide land;
- Display an advertisement;
- Any other development that requires consent from the Lord Howe Island Board.

To minimise delay in receiving a decision about your application, please ensure you submit all relevant information. To complete the form, please place a cross in the boxes ☐ and fill out the sections provided as appropriate. When your application has been assessed, you will receive a Notice of Determination. If you need help please phone or call the Board's office and discuss your queries with a development officer.

### APPLICANT DETAILS

☐ Mr ☐ Mrs ☒ Ms Other: .....

Name: Julie Brehm

Organisation: Ebbtide ABN: .....

Postal Address: .....

Telephone: .....

Email: .....

### OWNER CONSENT

Has Owner Consent been issued? ☐ Yes ☐ No Owner Consent No.: .....

### IDENTIFY THE LAND YOU PROPOSE TO DEVELOP

Portion/Lot No.: 154 Deposited Plan No.: .....

Lease No.: .....

Address: Muttonbird Drive Lord Howe Island.

### PROPOSED DEVELOPMENT

Describe the proposed development; give a detailed outline of what you are going to do. If it involves a building, indicated what it will be used for.

Addition of laundry/office/studio to Managers Qtrs and internal change of rooms. Bed 2 to become ensuite and existing lounge to become Bed 2. Add new lounge room

Building Material: timber Roofing Material: Iron

### PAST/PRESENT LAND USES

State the past known uses of the site:

Residence + Tourist Accom.

State the present known uses of the site:

Residence + Tourist Accom.

### STAGED DEVELOPMENT

You can apply for development consent for only part of your proposal now, and for the remaining part/s at a later time.

Are you applying for development consent in stages? ☐ Yes ☒ No

If yes please attach:

- Information which describes the stages of your development;
- A copy of any development consents you already have which relate to your development.

### PLANS OF THE LAND AND DEVELOPMENT

You need to provide a number of different plans that show what you intend to do. Step 4 of the Development Application Guide sets out which plans to provide and the details to include. Please submit 1 copy of the plans with the application. Please attach:

- A site plan of the land, drawn to scale;
- Plans or drawings of the proposal, drawn to scale and, where relevant;
- An A4 size plan of the proposed building and other structures on the site; —
- A plan of any existing buildings (and uses), drawn to scale.

### ENVIRONMENTAL EFFECTS OF YOUR DEVELOPMENT

To assess your proposal, we need to understand the impacts it will have. Depending upon the nature and scale of your proposal, you need to provide one or more of the statements listed below to explain the environmental effects of your proposal.

Is your proposal likely to cause a major environmental impact (e.g. designated development)?

- ☐ Yes Please attach an environmental impact statement.  
☒ No Please attach a statement of environmental effects (SEE).

Is your proposal likely to cause have significant effect on threatened species, populations, ecological communities or their habitats?

- ☐ Yes Please attach a species impact statement.  
☒ No

### SUPPORTING INFORMATION

You can support your application with additional material such as photographs (including aerial photographs), slides and models to illustrate your proposal.

Please list what you have attached.

SEE  
electrical plan  
site plan  
elevations / sections of proposed  
floor plans of proposed + existing  
Basix  
Owner consent form.

**NOTE:** It will be necessary for you to place pegs showing the location of all building extremities and height of buildings within seven days of lodging your development application. These pegs will allow inspection by Board staff at an early stage of your development assessment.

## APPLICATION FEE

For development that involves a building or other work, the fee for your application is based on the estimated cost of the development. If your development needs to be advertised to the public you may also need to include an advertising fee. Clauses 246 to 263 of the Environmental Planning and Assessment Regulation 2000 provide a schedule of fees.

*NOTE: Fees will be calculated in accordance with Cordell's Building estimates and will form the basis for the fee. To save time and any delays in processing your application, please contact us if you need help to calculate the fee for your application.*

Estimated cost of the development: \$100,000

Total fees lodged: \$534.00 Date: 14/01/2022 Receipt No.: 20346

## APPLICANT/S OR APPLICANT'S AGENT DECLARATION

Have you or any associated persons with a financial interest in this application in the last two years made any political donations or given any gifts to any local Board Member or Board employee? ☐ Yes ☒ No

If you ticked yes please fill out a Political Donations and Gift Disclosure Statement.

IMPORTANT NOTICE: It is an offence under the EP&A Act 1979 if you fail to disclose reportable donations and gifts.

## LEASEHOLDER AUTHORISATION – All leaseholder/s of the land must sign the application

As the leaseholder, I consent to this application

Signature: [Redacted] Signature: [Redacted]

Name: Julie Name: Emma Crombie

Date: 14/12/21 Date: 14/12/21

## APPLICANT AUTHORIZATION The applicant/s or the applicant's agent must sign the application.

I apply for consent to carry out the development described in this application and I declare that the information provided is true and correct. The application may be delayed if the information requested is not provided.

Signature: [Redacted] Signature: [Redacted]

Name: Emma Crombie Name: Julie Bretnall

Date: 14/12/21 Date: 14/12/21

State the capacity in which you are signing if you are not the applicant: .....

## PRIVACY POLICY

The information you provide in this application will enable us, and any relevant state agency, to assess your application under the Environmental Planning and Assessment Act 1979 and other applicable state legislation. If the information is not provided, your application may not be accepted.

If your application is for designated development or advertised development, it will be available for public inspection and copying during a submission period. Your application, and any attached plans will be published on the Lord Howe Island Board website. Written notification of the application will also be provided to the neighbourhood. You have the right to access and have corrected information provided in your application. Please ensure that the information is accurate and advise us of any changes.

Documentation provided with an application may also be accessed in accordance with the requirements of the Government Information Access (GIPA) Act 2009.

## LODGEMENT

Before submitting your application, please ensure you have attached all the information the consent authority needs to assess your proposal. You can use the following checklist. Please place a cross in the box ☐ next to any items you have attached:

### Plans

- ☒ A site plan of the land — **all applications**
- ☒ Plans or drawings of the proposal showing all dimensions — **all applications**
- ☒ An A4 size plan of the proposed building and other structures on the site - **all applications**
- ☒ A plan which is drawn to scale of all existing buildings.

### Environmental effects

- ☐ An environmental impact statement for a designated development proposal and an electronic version of the executive summary
- ☒ A statement of environmental effects — **required for all applications** that are not designated development
- ☐ An environmental report — **if required under clause 42 of the LHI LEP 2010**. Contact the Board to see if you need to prepare an environmental report.
- ☐ A species impact statement
- ☒ A Basix Certificate – The Building Sustainability Index (BASIX) applies to all residential dwelling types and is part of the development application process in NSW. A BASIX certificate **MUST** be obtained for “**BASIX affected development**”. For further information please refer to [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)
- ☒ Electrical supply form must be completed (for new / alteration / addition to existing supply).

### Staged development

- ☐ Information which describes the stages of the development
- ☐ A copy of any consents already granted for part of the development

### Supporting information

- ☐ Other material to support your application, such as photos, slides and models. *Please ensure any items listed as an Advisory Note as part of the Owner Consent approval have been addressed.*

### Application fee

- ☐ Your application fee — **required for all applications.**

### Where to lodge your application

You can lodge your completed application form, together with attachments and fees at the Lord Howe Island Board's office.

## CONTACT DETAILS FOR YOUR INFORMATION

### Lord Howe Island Board

Bowker Avenue  
(PO Box 5)  
LORD HOWE ISLAND NSW 2898  
Phone: 02 6563 2066  
Fax: 02 6563 2127  
Email: [administration@lhib.nsw.gov.au](mailto:administration@lhib.nsw.gov.au)  
Website: [www.lhib.nsw.gov.au](http://www.lhib.nsw.gov.au)

### Lord Howe Island Marine Park Authority

Phone: 02 6563 2359  
Fax: 02 6563 2367  
Email: [lordhowe.marinepark@npws.nsw.gov.au](mailto:lordhowe.marinepark@npws.nsw.gov.au)  
Website: [www.mpa.nsw.gov.au](http://www.mpa.nsw.gov.au)

### Department of Infrastructure, Planning and Natural Resources – General Enquiries

Phone: 02 9228 6111  
Email: [infocentre@dipnr.nsw.gov.au](mailto:infocentre@dipnr.nsw.gov.au)  
Website: [www.dipnr.nsw.gov.au](http://www.dipnr.nsw.gov.au)

### Department of Infrastructure, Planning and Natural Resources – North Coast Office

49 Victoria Street  
(PO Box 6)  
GRAFTON NSW 2460  
Phone: 02 6642 0622  
Email: [northcoast@dipnr.nsw.gov.au](mailto:northcoast@dipnr.nsw.gov.au)  
Website: [www.dipnr.nsw.gov.au](http://www.dipnr.nsw.gov.au)  
BASIX Certificate: [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)



# LORD HOWE ISLAND BOARD

## Statement of Environmental Effects

A Statement of Environmental Effects must be completed and submitted with your development application, this is a requirement under the *Environmental Planning & Assessment Act 1979*. The Statement of Environmental Effects report explains the likely impacts of the development proposal taking into consideration relevant planning and environmental matters. If you require any clarification about what information needs to be included, please contact the Board's office on (02) 6563 2066.

Failure to submit a completed Statement of Environmental Effects report will result in the development application being rejected or incurring unnecessary delays before the application can be determined. This report must be signed by applicant on last page.

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### APPLICANT DETAILS

Name: *Julie Bretnall*

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### PROPOSED DEVELOPMENT

Portion/Lot No: *154*

Deposited Plan No.: *LHI115*

Lease No.: *1968/01*

Address: *Muttonbird Drive , Lord Howe Island*

Please tick the type/s of development you are applying for:

- ☐ Dwelling House
- ☐ Additions to Dwelling House
- ☐ Home Business
- ☐ Commercial
- ☐ Shed or Garage
- ☐ Dual Occupancy
- ☐ Additions to Dual Occupancy
- ☐ Subdivision including Boundary Realignment

☐ Other – please describe:

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### DEVELOPMENT DESIGN ATTRIBUTES

#### EXISTING BUILDINGS

What buildings and/or structures already exist on the subject site? Existing structures located on the subject site (including their gross floor area where applicable) as well as adjoining properties need to be shown on a site plan. Please show floor space.

*Main Residence, Garage, 3xTourist Accommodation Buildings, Manager's Quarters*

## DEVELOPMENT CONSENTS

If known, please list previous development and building approvals for the last 10 years which are considered relevant to this application. If necessary, please consult Board staff.

DA Number	Development Description	Date of Consent
Not Applicable	Not Applicable	Not Applicable

## OWNERS CONSENT

Please provide the reference number for the Owners Consent application. Please confirm that all conditions of owners consent have been met for this development application.

*As I understand with this new DA portal the Owners Consent is determined thru this. (The process not very clear)*

## DEVELOPMENT REQUIREMENTS

### DWELLINGS/RESIDENTIAL

Does your development comply with the **maximum gross floor area** and the **minimum dwelling area** (under Clause 20 & 23 LHI Local Environmental Plan 2010)? If yes, this must be demonstrated below.

*Not Applicable. This is a proposal for commercial premises in terms of Clause 22 of the LEP.*

Please specify if your development complies with the enlargements or extensions of a dwelling (under clause 27 LHI Local Environmental Plan 2010)? If yes, this must be demonstrated below.

*The proposal includes existing commercial and residential buildings and is dealt with under Clause 22.*

### COMMERCIAL

Please specify if your development complies with the requirements in Clause 22 for tourist accommodation, staff accommodation and commercial premises? If yes, this must be demonstrated below.

*The total area of the lease is 9,435 sqm with existing buildings occupying 426.25 sqm. The proposed additions total 81.71 sqm bringing gross floor area to 507.96. Allowing for the minimum dwelling area of 3,000 sqm, the residual useable area of the lease is 6,435 sqm. Site coverage including proposed additions will be 7.8% which is less than the 15% maximum permitted under Clause 22.*

*There is significant native vegetation on the Muttonbird Drive boundary and the north-eastern and northern boundaries. There is also a small area of significant native vegetation along the common boundary with portion 81, the majority of which is on portion 81. There is no requirement for removal of any native vegetation, the development will not be carried out on identified significant native vegetation and the existing areas of significant native vegetation will be retained.*

*More than 50 percent of the total area of the lease comprises open landscaped areas and existing significant native vegetation identified above. Existing significant and other native vegetation comprises at least 35 percent of the total lease area and there will be no significant adverse impact on the existing landscaped character and dispersed pattern of housing on Zone 2 land as a result of additions to the existing manager's quarters.*

#### **ALL BUILDINGS – MAXIMUM BUILDING HEIGHT**

Please specify if your development complies with the maximum building height (under clause 29 LHI LEP 2010)? If yes, this must be demonstrated below.

*The proposed development will be 5.375 metres in height at its highest point which is less than the existing dwelling which is less than 7.5 metres above ground level.*

#### **SUBDIVISION**

Please specify if your development complies with the subdivision requirements under clause 21 of LHI LEP 2010? If yes, this must be demonstrated below.

*Not Applicable, this is not a proposal for subdivision.*

**ZONING** – Does your development meet the objectives of the zone in which the site is in? Please provide how the development meets these objectives (clause 13-19 LHI LEP 2010).

*The proposed development is within Zone No. 2. The proposed additions to the existing manager's quarters provides opportunities for limited residential and commercial development that maintains the dispersed housing pattern of the settlement area. The proposal is in sympathy with existing development in relation to setbacks, building mass and style, visual amenity, and landscaped character.*

#### **ENERGY EFFICIENCY**

Does the development achieve the minimum BASIX requirements? To determine whether a BASIX certificate needs to be submitted with your application, please refer to [www.basix.nsw.gov.au/information/index.jsp](http://www.basix.nsw.gov.au/information/index.jsp). Each development application for a residential dwelling and each development application for alterations and additions must have a BASIX certificate.

*BASIX certificate included.*

#### **BOUNDARY SETBACKS**

How far is your development setback from the front boundary?

*The proposed development site setback from the front (Muttonbird Drive) boundary is more than 50 metres.*

How far is your development setback from the side and rear boundaries?

*The proposed development is setback more than 5 metres from its closest point to the common boundary with portion 81 and significantly more than that to all other boundaries.*

Does the development comply with the Board's minimum setback requirements? If no, provide reasons why the development should be supported?

*The proposed development complies with minimum setback requirements.*

**LANDSCAPING** – Please specify if the development complies with the landscaping requirements for Zone 2 land (clause 33 LHI LEP 2010)? If yes, this must be demonstrated below.

*The development complies with Zone 2 landscaping requirements (see above “commercial development” section of this document regarding landscaping).*

**LAND ADJACENT TO ZONE 7 OR 8** – Please specify if your development complies with the requirements for land adjacent to Zone 7 or 8 (under clause 34 LHI LEP 2010)? If yes, this must be demonstrated below.

*The development site is more than 20 metres from the boundary of the lease with land within Zone 7 Environment Protection, and not within 20 metres of land within Zone 8 Permanent Park Preserve.*

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## **CONSTRAINTS**

### **FORESHORE DEVELOPMENT**

Is your land within the foreshore development area? If yes, please how the development complies with foreshore development requirements (Clause 35 LHI LEP 2010).

*Not Applicable, the proposed development is not within the foreshore development area.*

### **AIRCRAFT NOISE**

Is your land subject to the Australian Noise Exposure Forecast? If yes, the development may need to include an Acoustic Report with the application.

*Not Applicable, the proposal is not on land subject to the Australian Noise Exposure Forecast.*

### **FLOODING**

Is your land flood prone? If yes, what measures will be undertaken to ensure that:

- water is efficiently drained from your property without impacting upon any adjoining neighbours.
- the proposed development will not be adversely affected by flooding.

*Not Applicable, the proposal is not on flood prone land.*

### **HERITAGE**

Is the development listed as a heritage item, located in a heritage conservation area, or located adjacent to any known heritage item or archaeological site? If yes, a Statement of Heritage Impact and referral to NSW Heritage Branch may be required.

*Not Applicable, the existing development is not listed as a heritage item, it is not located in a heritage conservation area or located adjacent to any known heritage item or archaeological site.*



### **SIGNIFICANT VEGETATION**

Will the development require the removal of any vegetation in areas mapped as 'significant vegetation' in LHI LEP 2010 Sheet 3 as well as the proposed 'significant vegetation' map on exhibition? If yes, the proposed development may be prohibited.

The development does not require any disturbance to areas mapped as "significant vegetation" (*see above "commercial development" section of this document*).

### **RETENTION OF TREES AND LANDSCAPING**

Will the development require the removal of any native trees and/or shrubs? If yes, please specify how many trees/shrubs need to be removed and indicate their location on the site/landscape plan.

*The development will require the removal of 1 shrub, GoatWood (Coproasma Prisca) planted after the last DA, on site in 2005.*

### **RECOVERY PLANS AND HABITAT AREAS**

Is the development consistent with approved Recovery Plans for the island? Does the development have any impacts on threatened species? If the answer to this question is yes then an Environmental Report, a seven-part test or a Species Impact Statement may be required (Clause 42 of LHI Local Environment Plan 2010). It is important to remember that it is illegal to clear, modify, underscrub or remove any vegetation within areas of identified habitat.

*The proposed development is not inconsistent with the Lord Howe Island Biodiversity Management Plan.*

Can the development be sited to retain existing vegetation? If no, explain why this is not possible.

*See above "RETENTION OF TREES AND LANDSCAPING".*

Do you intend to provide any landscaping to compensate for the removal of vegetation? If yes, please include a landscape plan specifying the species to be used. If no, please explain why supplementary landscaping is not necessary.

*See above "RETENTION OF TREES AND LANDSCAPING".*

### **VISUAL APPEARANCE**

Explain how the external appearance of the development has been designed to take into consideration of the adjoining properties and character of the area.

*The immediate adjoining area is characterised by six residential leases of which three are larger than 3,000 sqm. The lease on which the works are proposed also abuts the foreshore development line but is not in Zone 7 Environment Protection. The proposed additions to the Manager's quarters are consistent with use of adjoining properties and the character of the area.*

### **VISUAL AND ACOUSTIC PRIVACY**

Describe how the development has been designed to reduce any possible impact on the visual or acoustic privacy of adjoining properties. Consider the use of screening, landscaping, offsetting windows and balconies.

*The development will have no effects on existing visual and acoustic privacy in the area.*

#### **SOLAR ACCESS**

Has the development been designed so that the main indoor and outdoor living spaces face north and east to take advantage of solar access? If yes, please specify the parts of the dwelling facing north and east.

*Solar access has been considered and additional access will be incorporated to take advantage of morning sunlight (see plans).*

Does the development overshadow adjoining properties?

*The proposed development does not overshadow adjoining properties.*

#### **VIEWS**

Does the development obstruct any views from adjoining properties?

*The proposed development does not obstruct any views from adjoining properties.*

Is it possible to site the development to minimise the obstruction of views? If no, explain why this is not possible.

*Not applicable.*

#### **PARKING AND TRAFFIC**

How many on-site parking spaces are existing and how many will result from the proposed development?

*There are two designated parking spaces however no additional parking requirements will be generated by the development.*

Does the development provide adequate manoeuvring areas without impacting on existing access and parking arrangements? If no, please justify why the development should be supported.

*See above.*

#### **EARTHWORKS AND RETAINING WALLS**

Does the site need to be excavated or filled? If yes, specify the maximum retaining wall heights and type of construction. Retaining wall details need to be shown on the development plans.

*The proposal does not require earthworks or retaining walls. Excavation during construction will be limited to that required for footings.*

#### **WASTEWATER MANAGEMENT**

Have you completed the Lord Howe Island Board Onsite Wastewater Management System checklist for Applicants and submitted with this application?

*The proposal does not include additional bedrooms so there will be no additional load on the existing wastewater system.*

#### **STORMWATER RUNOFF DISPOSAL**

How will excess stormwater runoff be disposed?

*Not applicable.*

#### **EROSION AND SEDIMENT CONTROL**

What erosion and sediment control measure will be used to keep the soil on your site? Consider siltation fencing, diversion channels, stockpile protection, stormwater pit protection and gravel vehicle access.

*Not applicable.*

Where will the erosion and sediment control measures be provided on-site? Please identify the location of the erosion and sediment control measures on the site plan.

*Not applicable.*

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#### **OTHER CONSIDERATIONS**

Are there any other particular measures proposed to mitigate and/or offset any significant impact caused by the development?

*Not applicable.*

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#### **APPLICANT AUTHORISATION**

Name:

Signature:

Date:

LORD HOWE ISLAND BOARD

ELECTRICAL SUPPLY

NOTIFICATION OF PROPOSED ADDITIONS AND/OR ALTERATIONS TO EXISTING ELECTRICAL SUPPLY

To be submitted in duplicate and signed by the customer or the electrical contractor.

NAME OF APPLICANT: Julie Brehm  
ADDRESS OF PREMISES: Mulholland Drive Lord Howelstand

PORTION NO. 154 SERVICE NO.

PARTICULARS OF PROPOSED ADDITIONS AND/OR ALTERATIONS:

LIGHTING POINTS		GPO'S		OTHER APPARATUS (Motors, Solar Heaters etc.)		
NO.	WATTS	SINGLE	DOUBLE	TYPE	NO.	WATTS
13	50		14			

Particulars of any work to be disconnected:

Name and Address of Electrical Contractor: To be advised

Signature of Applicant: [Redacted] Licence No. Date: 14/12/21



# BASIX<sup>®</sup>Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

## Alterations and Additions

Certificate number: A430358

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary

Date of issue: Tuesday, 21, September 2021

To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,  
Industry &  
Environment

## Description of project

Project address	
Project name	Ebbtide
Street address	1 muttonbird Drive LORD HOWE ISLAND 2898
Local Government Area	Lord Howe Island Board
Plan type and number	Deposited Plan 757515
Lot number	154
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

**Certificate Prepared by** (please complete before submitting to Council or PCA)

Name / Company Name: Julie Bretnall

ABN (if applicable): N/A

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
suspended floor with open subfloor: framed (R0.7).	nil				
external wall: framed (weatherboard, fibro, metal clad)	R1.00 (or R1.40 including construction)				
raked ceiling, pitched/skillion roof: framed	ceiling: R1.76 (down), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)			

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Windows and glazed doors</b>									
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.							✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:								✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.								✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.							✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.								✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.								✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.							✓	✓	✓
<b>Windows and glazed doors glazing requirements</b>									
Window / door no.	Orientation	Area of glass inc. frame (m <sup>2</sup> )	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W1	N	5.04	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W2	NE	1.81	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W3	NE	1.62	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W4	SE	1.62	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			



Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W5	SE	3.42	0	0	eave/verandah/pergola/balcony ≥450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W6	SW	1.62	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W7	SE	1.56	0	0	eave/verandah/pergola/balcony ≥450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W8	SW	1.7	0	0	eave/verandah/pergola/balcony ≥450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W9	NW	3.42	0	0	eave/verandah/pergola/balcony ≥900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W10	NW	1.7	5	6	eave/verandah/pergola/balcony ≥900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W11	NW	0.51	0	0	eave/verandah/pergola/balcony ≥450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W12	SW	4.2	0	0	eave/verandah/pergola/balcony ≥900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✔" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✔" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✔" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

LOT 154 MUTTONBIRD DRIVE LORD HOWE ISLAND NSW 2898

## DEVELOPMENT SUMMARY

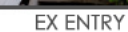
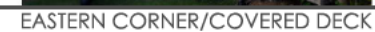
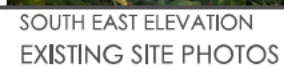
### AREA CALCULATIONS



DA 01	DRAWING LIST, LOCATION PLAN & SITE PHOTOS	N.T.S. @ A3
DA 02	SITE ANALYSIS & SITE PLAN	1:500 @ A3
DA 03	SITE MANAGEMENT, DEMOLITION & LANDSCAPE OPEN SPACE PLAN	1:200 @ A3
DA 10	EXISTING GROUND FLOOR PLAN	1:100 @ A3
DA 11	GROUND FLOOR PLAN	1:100 @ A3
DA 12	ROOF PLAN	1:100 @ A3
DA 20	EXISTING ELEVATIONS	1:150 @ A3
DA 21	ELEVATIONS 01	1:100 @ A3
DA 22	ELEVATIONS 02	1:100 @ A3
DA 23	COLOURED ELEVATIONS + FINISHES	1:100 @ A3
DA 30	SECTIONS 01	1:100 @ A3
DA 31	SECTIONS 02	1:100 @ A3
DA 40	NOTIFICATION PLAN	1:210 @ A4



### ... SUBJECT SITE



DRAWING TITLE:  
DRAWING LIST,  
LOCATION PLAN &  
SITE PHOTOS

21/08/2021



DRAWING No: Rev:  
DA 01 A

CLIENT:  
EMMA CROMBIE  
MAGERS QTRS./EBBTIDE APTS.  
MUTTONBIRD DRIVE  
LORD HOWE ISLAND  
NSW 2898

DESIGN:  
NADINE PRUCKNER  
0418 661 691

PROJECT:  
ALTERATIONS &  
ADDITIONS TO  
LOT 154 DP 757515  
MUTTONBIRD DRIVE  
LORD HOWE ISLAND

KEY: AWN AWNING  
CPBD CUPBOARD  
DB DISTRIBUTION BOARD  
DP DOWNPIPE  
EW\_ EXTERNAL WALL TYPE\_  
EX\_ EXISTING  
FC FIBRE CEMENT CLADDING  
FCS FC SOFFIT LINING  
FG FIXED GLAZING

FFL FINISHED FLOOR LEVEL  
FT FLOOR TILE  
GF FROSTED GLASS  
LDRY LAUNDRY  
MF METAL FLASHING  
MTB METAL TMB BALUSTRADE  
MR METAL ROOFING  
OF OVERFLOW  
PB PLASTERBOARD

PV	PHOTOVOLTAIC PANEL
PWC	PANELISED WALL CLADDING
RG	ROOF GUTTER
RL	REDUCED LEVEL
RWH	RAIN WATER HEAD
RWT	RAIN WATER TANK
RT	RECYCLED TIMBER
SF	PAINTED STEEL FRAMING
SH	SUN HOOD

TBC	TO BE CONFIRMED
TC	TIMBER CLADDING
TMB	TIMBER
TOG	TOP OF GUTTER
TF	TIMBER FENCE
TP	TIMBER POST
TS	TIMBER SCREEN
W_	WINDOW _
X	EXISTING

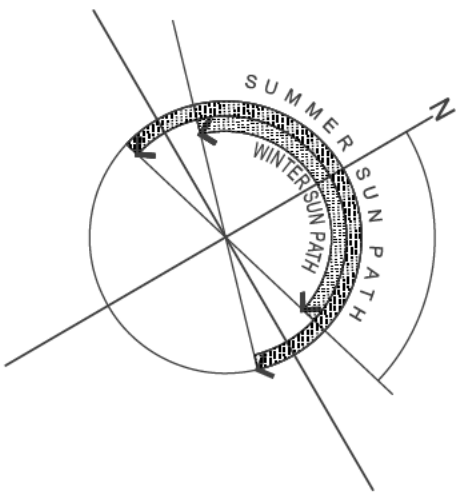
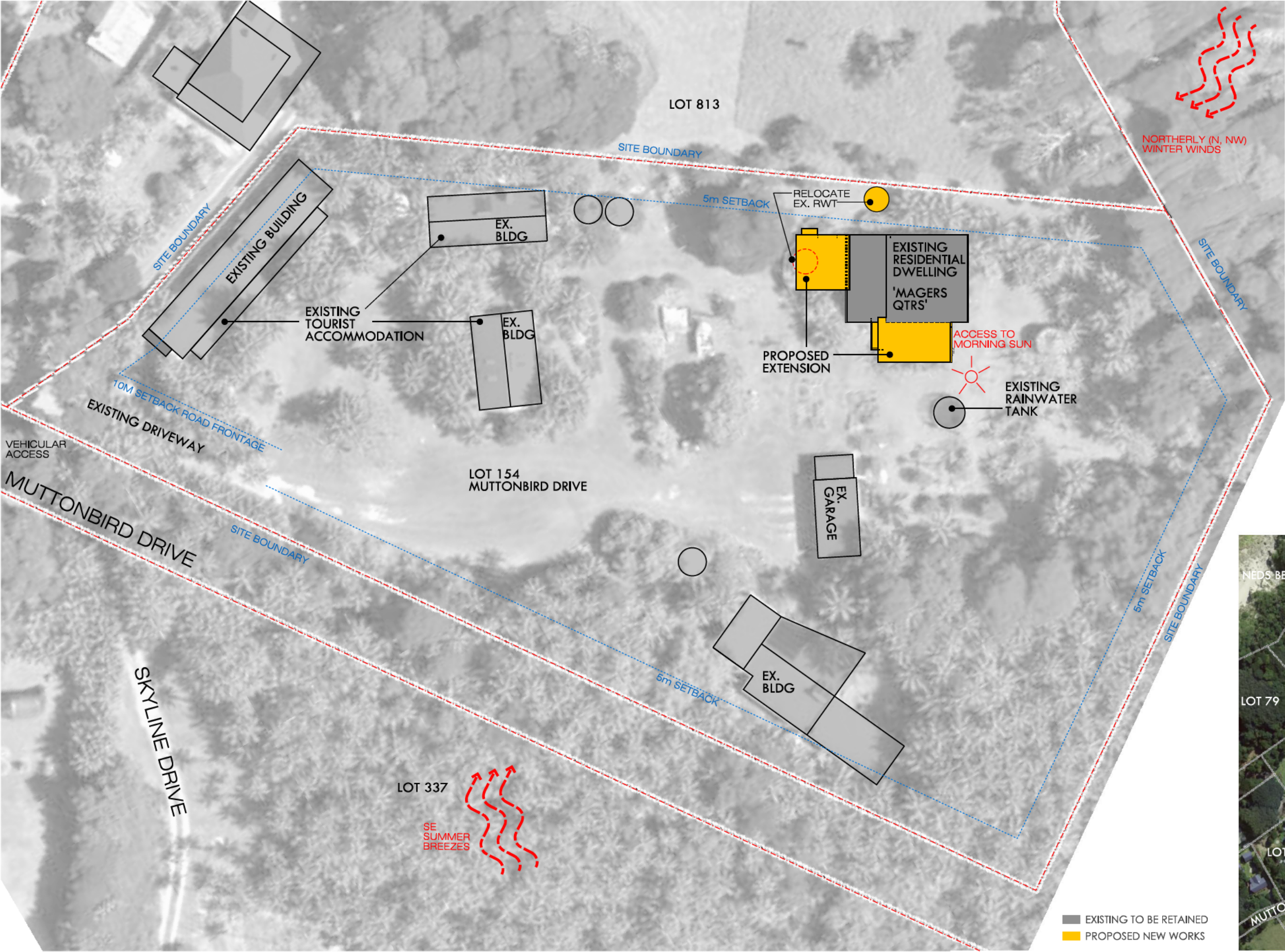
A ISSUED FOR DA 21.08.2

USE FIGURED DIMENSIONS ONLY - DO NOT SCALE.

FOR EXISTING AND NEW BUILDING WORKS, CONFIRM ALL DIMENSIONS & LEVELS ON SITE PRIOR TO CONSTRUCTION.

ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SURVEY.





LOCATION PLAN



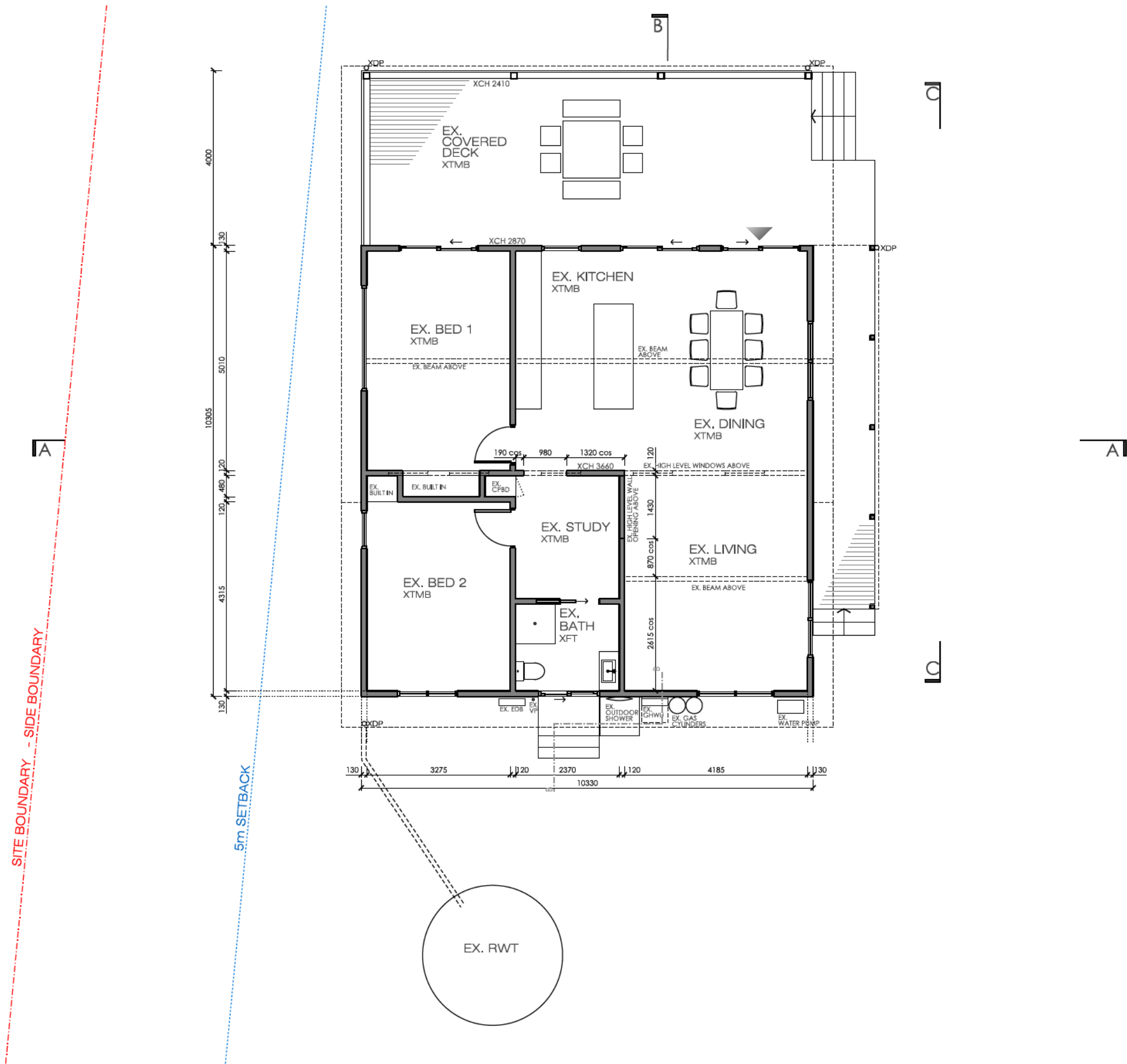
SITE ANALYSIS + SITE PLAN

DA SUBMISSION

CLIENT: EMMA CROMBIE MAGERS QTRS./EBBTIDE APTS. MUTTONBIRD DRIVE LORD HOWE ISLAND NSW 2898	DESIGN: NADINE PRUCKNER 0418 661 691	PROJECT: ALTERATIONS & ADDITIONS TO LOT 154 DP 757515 MUTTONBIRD DRIVE LORD HOWE ISLAND	KEY: AWN AWNING CPBD CUPBOARD DB DISTRIBUTION BOARD DP DOWNPIPE EW EXISTING WALL TYPE EX EXISTING FC FIBRE CEMENT CLADDING FCS FC SOFFIT LINING FG FIXED GLAZING	FFL FINISHED FLOOR LEVEL FT FLOOR TILE GF FROSTED GLASS LDRY LAUNDRY MF METAL FLASHING MTB METAL TMB BALUSTRADE MR METAL ROOFING OF OVERFLOW PB PLASTERBOARD	PV PHOTOVOLTAIC PANEL PWC PANELISED WALL CLADDING RG ROOF GUTTER RL REDUCED LEVEL RWH RAIN WATER HEAD RWT RAIN WATER TANK RT RECYCLED TIMBER SF PAINTED STEEL FRAMING SH SUN HOOD	TBC TO BE CONFIRMED TC TIMBER CLADDING TMB TIMBER TOG TOP OF GUTTER TF TIMBER FENCE TP TIMBER POST TS TIMBER SCREEN W WINDOW X EXISTING	DRAWING TITLE: SITE ANALYSIS + SITE PLAN 1:500 @ A3 0 5 10 15 20 25m	21/08/2021 DRAWING No: Rev: DA 02 A
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USE FIGURED DIMENSIONS ONLY - DO NOT SCALE. FOR EXISTING AND NEW BUILDING WORKS, CONFIRM ALL DIMENSIONS & LEVELS ON SITE PRIOR TO CONSTRUCTION. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SURVEY.





KEY:	
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<span style="border-bottom: 1px dashed red; display: inline-block; width: 15px;"></span>	EXISTING TO BE DEMOLISHED

CLIENT:  
EMMA CROMBIE  
MAGERS QTRS./EBBTIDE APTS.  
MUTTONBIRD DRIVE  
LORD HOWE ISLAND  
NSW 2898

DESIGN:  
NADINE PRUCKNER  
0418 661 691

PROJECT:  
ALTERATIONS &  
ADDITIONS TO  
LOT 154 DP 757515  
MUTTONBIRD DRIVE  
LORD HOWE ISLAND

KEY: AWN AWNING  
CPBD CUPBOARD  
DB DISTRIBUTION BOARD  
DP DOWNPIPE  
EW EXTERNAL WALL TYPE  
EX EXISTING  
FC FIBRE CEMENT CLADDING  
FCS FC SOFFIT LINING  
FG FIXED GLAZING

FFL FINISHED FLOOR LEVEL  
FT FLOOR TILE  
GF FROSTED GLASS  
LDY LAUNDRY  
MF METAL FLASHING  
MTB METAL TMB BALUSTRADE  
MR METAL ROOFING  
OF OVERFLOW  
PB PLASTERBOARD

PV PHOTOVOLTAIC PANEL  
PWC PANELISED WALL CLADDING  
RG ROOF GUTTER  
RL REDUCED LEVEL  
RWH RAIN WATER HEAD  
RWT RAIN WATER TANK  
RT RECYCLED TIMBER  
SF PAINTED STEEL FRAMING  
SS STAINLESS STEEL

TBC TO BE CONFIRMED  
TC TIMBER CLADDING  
TMB TIMBER  
TOG TOP OF GUTTER  
TF TIMBER FENCE  
TP TIMBER POST  
TS TIMBER SCREEN  
W WINDOW  
X EXISTING

A	ISSUED FOR DA	21.08.21
P4	ISSUED FOR REVIEW	11.06.21
P3	ISSUED FOR REVIEW	19.03.21
P2	ISSUED FOR REVIEW	09.03.21
P1	INITIAL ISSUE	21.02.21

## DA SUBMISSION

DRAWING TITLE:  
EXISTING GROUND  
FLOOR PLAN

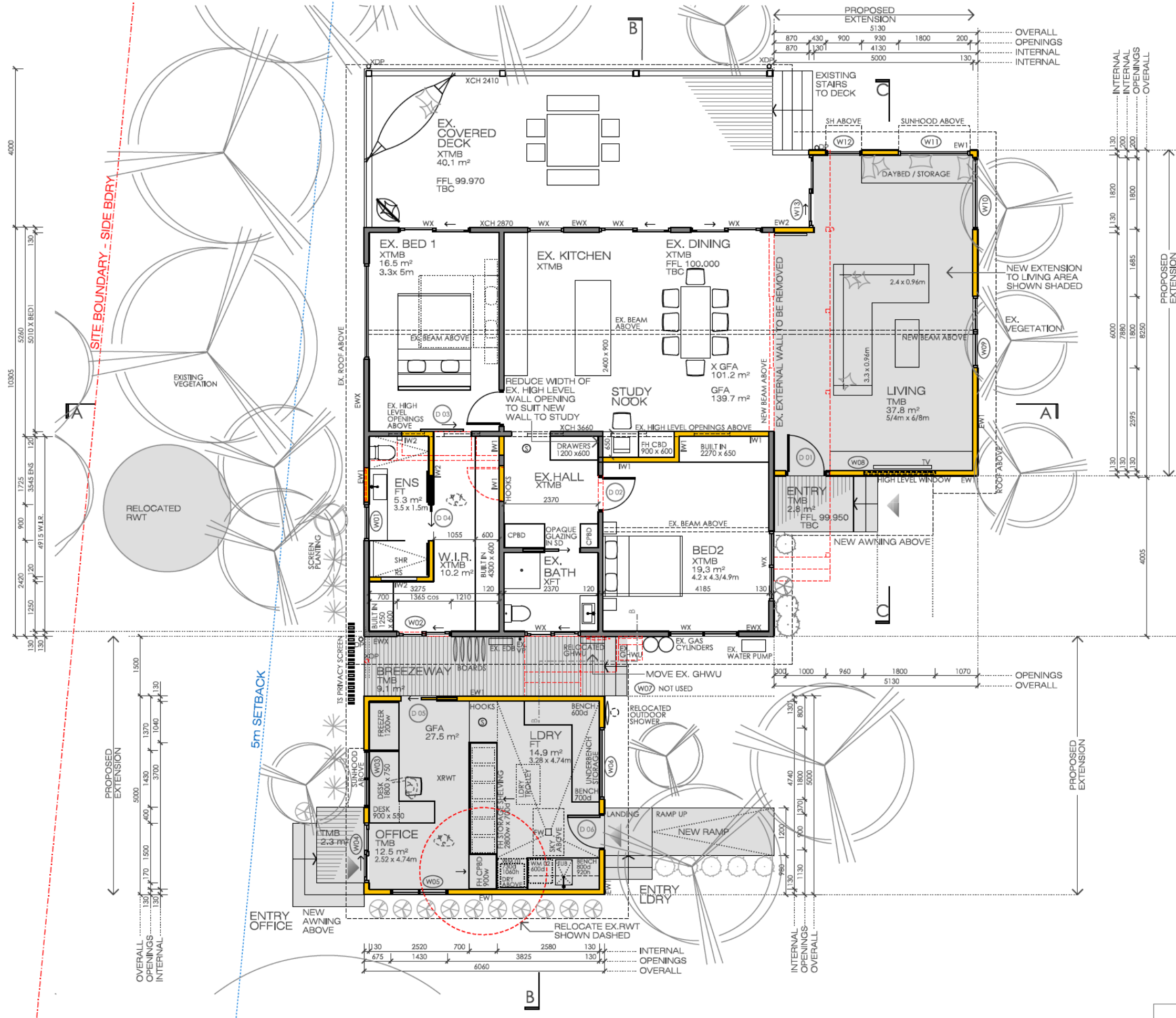
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21/08/2021



DRAWING No: Rev:  
DA 10 A



KEY:	
	NEW WORKS
	NEW WORK IN SECTION
	EXISTING TO BE RETAINED
	EXISTING TO BE DEMOLISHED

WALL TYPES LEGEND:	
EXTERNAL WALLS TYPES:	
EW1 / PWC1: 130MM EXTERNAL WALL WITH PANELISED WALL CLADDING TYPE 1 (PWC1): PAINTED HORIZONTAL FC ON BATTENS, SARKING, TIMBER FRAME WITH INSULATION & VAPOUR BARRIER PAINTED INTERNAL PLASTERBOARD	
EW1 / PWC2: 130MM EXTERNAL WALL WITH PANELISED WALL CLADDING TYPE 2 (PWC2): PAINTED FIBRE CEMENT SHEETING WITH VERTICAL BATTENS, SARKING, TIMBER FRAME WITH INSULATION & VAPOUR BARRIER PAINTED INTERNAL PLASTERBOARD	
EW2 / WB: 130MM EXTERNAL WALL TO MATCH EXISTING WEATHERBOARD CLAD TIMBER STUD WALL TO MATCH EXISTING	
INTERNAL WALLS TYPES:	
IW1: 120MM INTERNAL PARTITION: 90 STUD FRAME, PAINTED PLASTERBOARD TO BOTH SIDES	
IW2: 120MM INTERNAL PARTITION: 90 STUD FRAME, PAINTED PLASTERBOARD TO ONE SIDE, WET AREA PB & TILES TO OTHER	
SMOKE ALARM	

## DA SUBMISSION

CLIENT:  
EMMA CROMBIE  
MAGERS QTRS./EBBTIDE APTS.  
MUTTONBIRD DRIVE  
LORD HOWE ISLAND  
NSW 2898

DESIGN:  
NADINE PRUCKNER  
0418 661 691

PROJECT:  
ALTERATIONS &  
ADDITIONS TO  
LOT 154 DP 757515  
MUTTONBIRD DRIVE  
LORD HOWE ISLAND

KEY: AWN AWNING  
CPBD CUPBOARD  
DB DISTRIBUTION BOARD  
DN DOWNPIPE  
EW EXISTING  
FC FIBRE CEMENT CLADDING  
FCS FC SOFFIT LINING  
FG FIXED GLAZING

FFL FINISHED FLOOR LEVEL  
FT FLOOR TILE  
GF FROSTED GLASS  
LDRY LAUNDRY  
MF METAL FLASHING  
MTB METAL TMB BALUSTRADE  
MR METAL ROOFING  
OF OVERFLOW  
PB PLASTERBOARD

PV PHOTOVOLTAIC PANEL  
PWC PANELISED WALL CLADDING  
RG ROOF GUTTER  
RL REDUCED LEVEL  
RWH RAIN WATER HEAD  
RWT RAIN WATER TANK  
RT RECYCLED TIMBER  
SF PAINTED STEEL FRAMING  
SH SUN HOOD

TO BE CONFIRMED  
TC TIMBER CLADDING  
TMB TIMBER  
TOG TOP OF GUTTER  
TF TIMBER FENCE  
TP TIMBER POST  
TS TIMBER SCREEN  
W WINDOW  
X EXISTING

A	ISSUED FOR DA	21.08.21
P5	ISSUED FOR REVIEW	11.06.21
P4	ISSUED FOR REVIEW	05.05.21
P3	ISSUED FOR REVIEW	19.03.21
P2	ISSUED FOR REVIEW	09.03.21
P1	INITIAL ISSUE	21.02.21

DRAWING TITLE:  
GROUND FLOOR PLAN

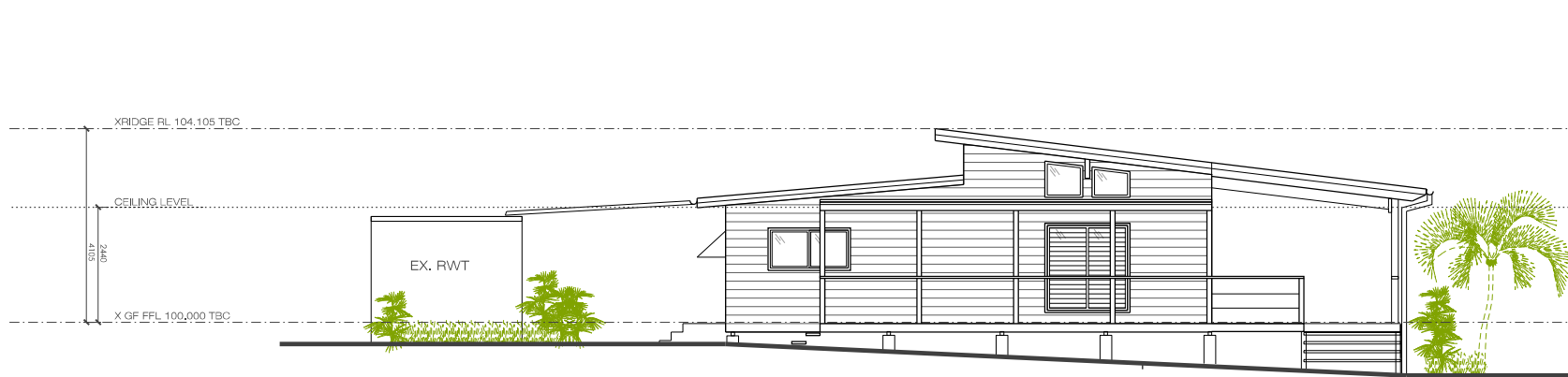
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21/08/2021

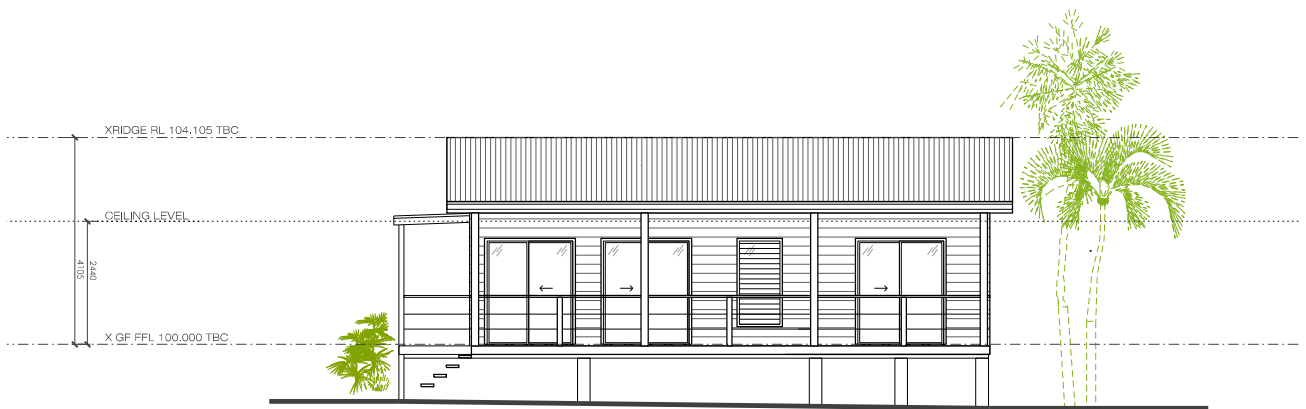
DRAWING No: Rev:  
DA 11 A







EXISTING SOUTH EAST ELEVATION



EXISTING NORTH EAST ELEVATION



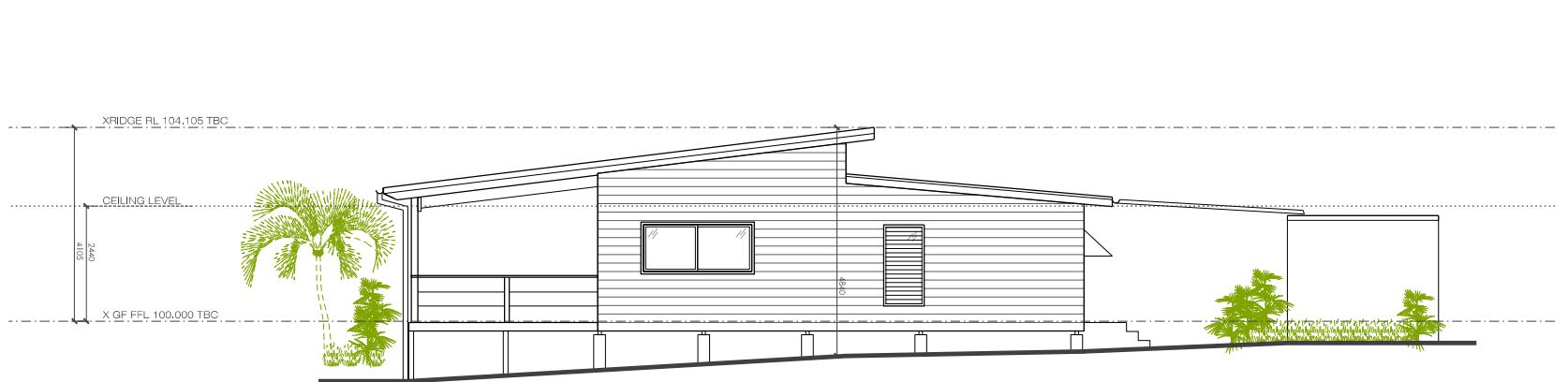
SOUTH EAST ELEVATION

EASTERN CORNER

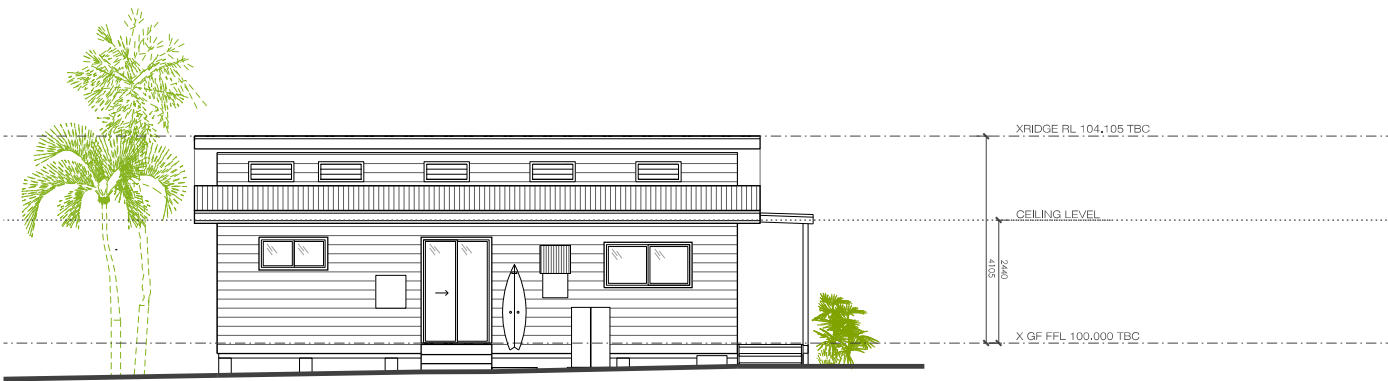
NORTH WEST ELEVATION

SOUTH WEST ELEVATION

SOUTHERN CORNER



EXISTING NORTH WEST ELEVATION



EXISTING SOUTH WEST ELEVATION

## DA SUBMISSION

CLIENT:  
EMMA CROMBIE  
MAGERS QTRS./EBBTIDE APTS.  
MUTTONBIRD DRIVE  
LORD HOWE ISLAND  
NSW 2898

DESIGN:  
NADINE PRUCKNER  
0418 661 691

PROJECT:  
ALTERATIONS &  
ADDITIONS TO  
LOT 154 DP 757515  
MUTTONBIRD DRIVE  
LORD HOWE ISLAND

KEY: AWN AWNING  
CPBD CUPBOARD  
DB DISTRIBUTION BOARD  
DP DOWNPIPE  
EW EXTERNAL WALL TYPE  
EX EXISTING  
FC FIBRE CEMENT CLADDING  
FCS FC SOFFIT LINING  
FG FIXED GLAZING

FFL FINISHED FLOOR LEVEL  
FT FLOOR TILE  
GF FROSTED GLASS  
LDY LAUNDRY  
MF METAL FLASHING  
MTB METAL TMB BALUSTRADE  
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PB PLASTERBOARD

PV PHOTOVOLTAIC PANEL  
PWC PANELISED WALL CLADDING  
RG ROOF GUTTER  
RL REDUCED LEVEL  
RWH RAIN WATER HEAD  
RWT RAIN WATER TANK  
RT RECYCLED TIMBER  
SF PAINTED STEEL FRAMING  
SS STAINLESS STEEL

TBC TO BE CONFIRMED  
TC TIMBER CLADDING  
TMB TIMBER  
TOG TOP OF GUTTER  
TF TIMBER FENCE  
TP TIMBER POST  
TS TIMBER SCREEN  
W WINDOW  
X EXISTING

A	ISSUED FOR DA	21.08.21
P2	ISSUED FOR REVIEW	05.05.21
P1	INITIAL ISSUE	19.03.21

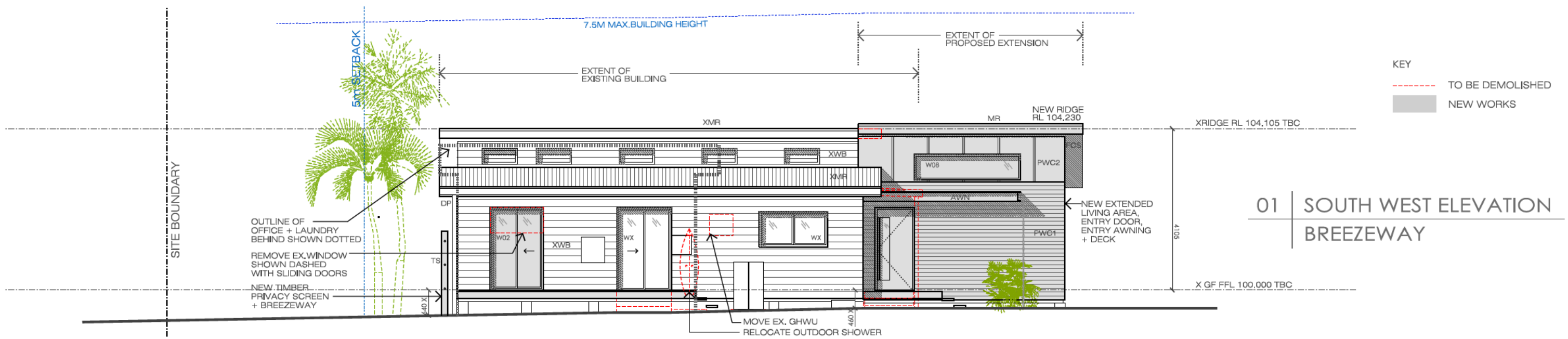
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EXISTING ELEVATIONS

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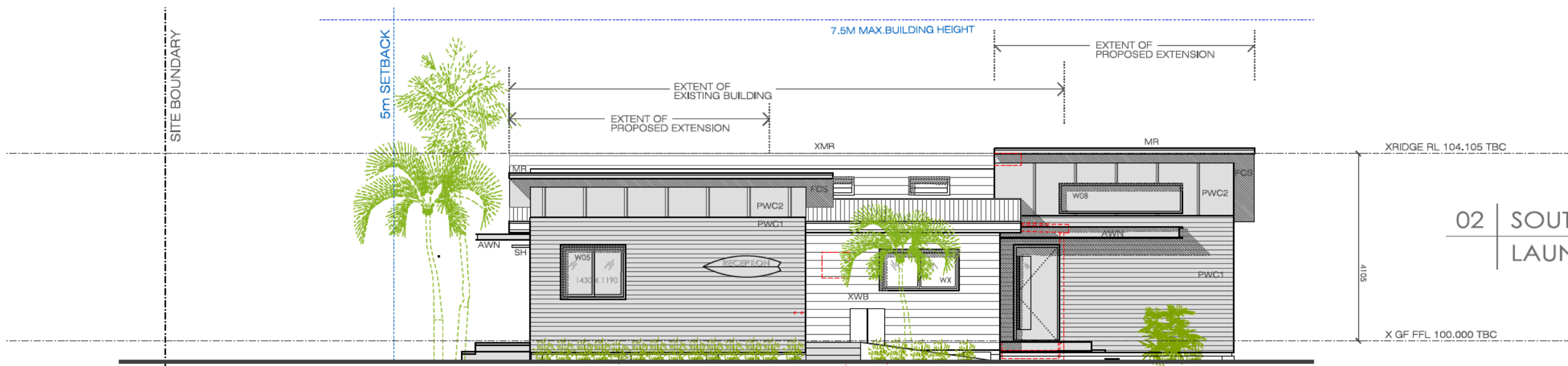
21/08/2021  
DRAWING No: Rev:  
DA 20 A



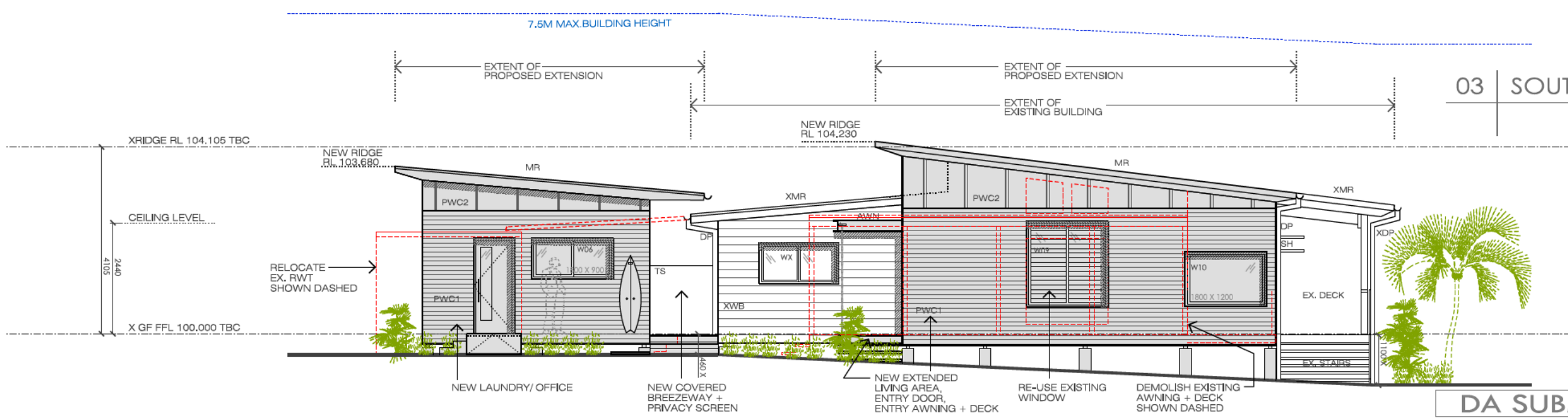




01 | SOUTH WEST ELEVATION  
BREEZEWAY



02 | SOUTH WEST ELEVATION  
LAUNDRY/RECEPTION



03 | SOUTH EAST ELEVATION

DA SUBMISSION

CLIENT:  
EMMA CROMBIE  
MAGERS QTRS./EBBTIDE APTS.  
MUTTONBIRD DRIVE  
LORD HOWE ISLAND  
NSW 2898

DESIGN:  
NADINE PRUCKNER  
0418 661 691

PROJECT:  
ALTERATIONS &  
ADDITIONS TO  
LOT 154 DP 757515  
MUTTONBIRD DRIVE  
LORD HOWE ISLAND

KEY: AWN AWNING  
CPBD CUPBOARD  
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RT RECYCLED TIMBER  
SF PAINTED STEEL FRAMING  
SH SUN HOOD

TBC TO BE CONFIRMED  
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TMB TIMBER  
TOG TOP OF GUTTER  
TF TIMBER FENCE  
TP TIMBER POST  
TS TIMBER SCREEN  
W WINDOW  
X EXISTING

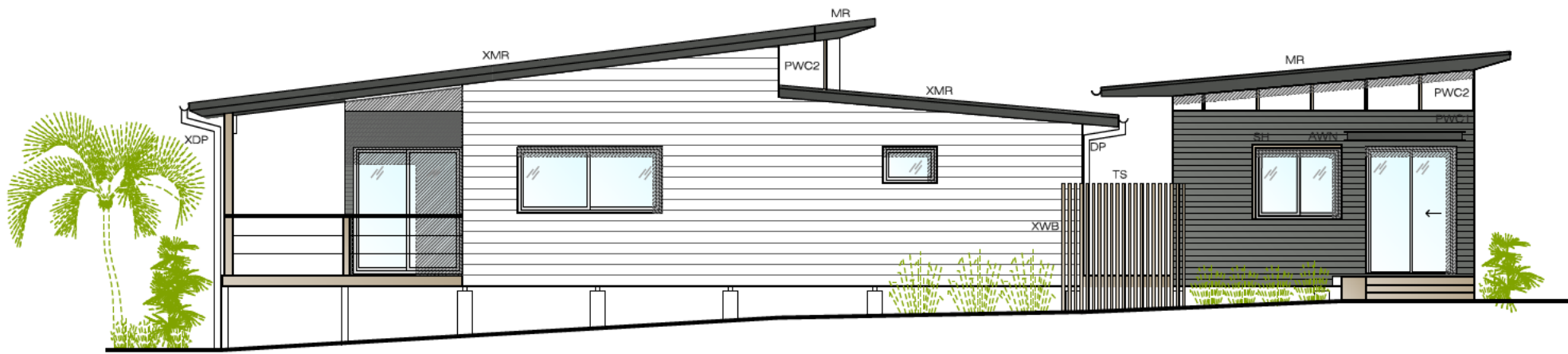
A	ISSUED FOR DA	21.08.21
P2	ISSUE FOR REVIEW	11.06.21
P1	INITIAL ISSUE	05.05.21

DRAWING TITLE:  
ELEVATIONS 02

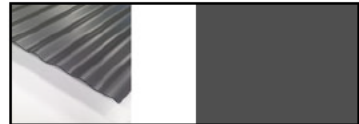
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21/08/2021  
DRAWING No: Rev:  
DA 22 A





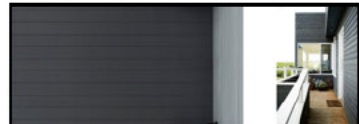
01 | NORTH WEST ELEVATION



MR - METAL ROOF SHEETING :  
TO MATCH EXISTING PROFILE  
COLOUR: COLORBOND MONUMENT  
COLOUR: TO MATCH EXISTING



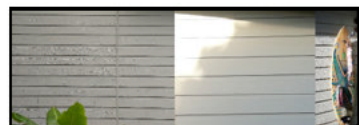
HALFROUND METAL GUTTERS + DPs  
COLORBOND MONUMENT



PWC1 - PANELISED WALL CLADDING 1  
PAINTED HORIZONTAL FC CLADDING  
COLOUR : DULUX 'RAKU' OR SIMILAR



PWC2 - PANELISED WALL CLADDING 2  
PAINTED FC WITH TIMBER BATTENS  
COLOUR TO MATCH EXISTING



WB PAINTED WEATHERBOARD  
TO MATCH EXISTING XWB  
COLOUR: TO MATCH EXISTING



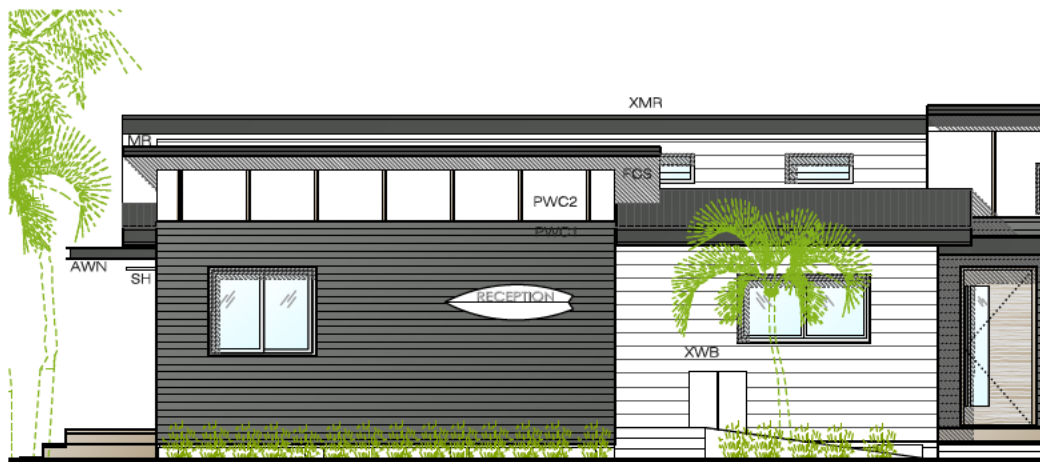
G , GL - GLAZING FRAMES  
CLEAR ANODISED ALUMINIUM  
TO MATCH EXISTING  
REUSE EXISTING WHERE APPLICABLE



TS - TIMBER SCREEN  
PRIVACY SCREEN



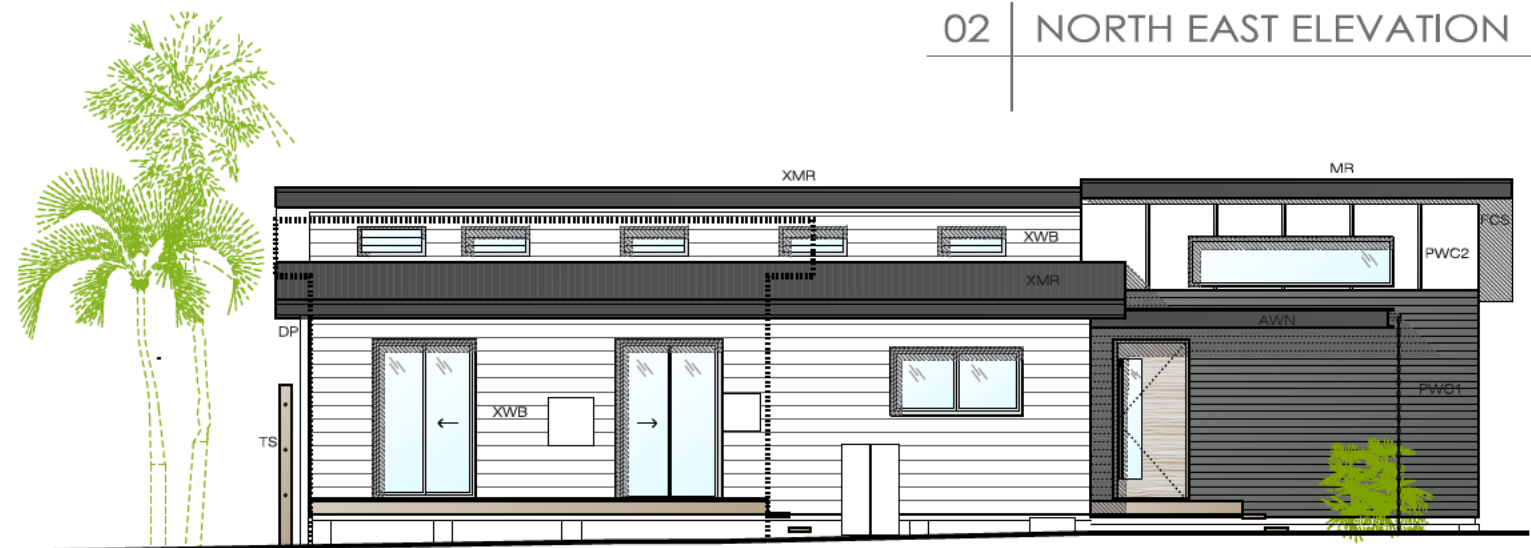
TMB - TIMBER DECK  
SPOTTED GUM TBC



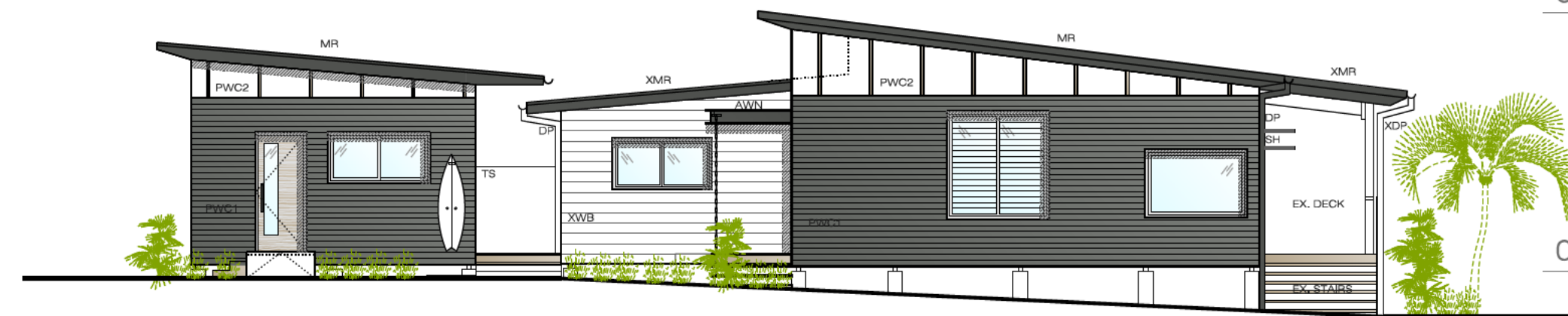
05 | SOUTH WEST ELEVATION  
OFFICE / LAUNDRY



02 | NORTH EAST ELEVATION



03 | SOUTH WEST ELEVATION  
BREEZEWAY



04 | SOUTH EAST ELEVATION

DA SUBMISSION

CLIENT:  
EMMA CROMBIE  
MAGERS QTRS./EBBTIDE APTS.  
MUTTONBIRD DRIVE  
LORD HOWE ISLAND  
NSW 2898

DESIGN:  
NADINE PRUCKNER  
0418 661 691

PROJECT:  
ALTERATIONS &  
ADDITIONS TO  
LOT 154 DP 757515  
MUTTONBIRD DRIVE  
LORD HOWE ISLAND

KEY: AWN AWNING  
CPBD CUPBOARD  
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PV PHOTOVOLTAIC PANEL  
PWC PANELISED WALL CLADDING  
RG ROOF GUTTER  
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RWT RAIN WATER TANK  
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SF PAINTED STEEL FRAMING  
SH SUN HOOD

TBC TO BE CONFIRMED  
TC TIMBER CLADDING  
TMB TIMBER  
TOG TOP OF GUTTER  
TF TIMBER FENCE  
TP TIMBER POST  
TS TIMBER SCREEN  
W WINDOW  
X EXISTING

ISSUED FOR DA 21.08.21

DRAWING TITLE:  
COLOURED ELEVATIONS  
& FINISHES SCHEDULE

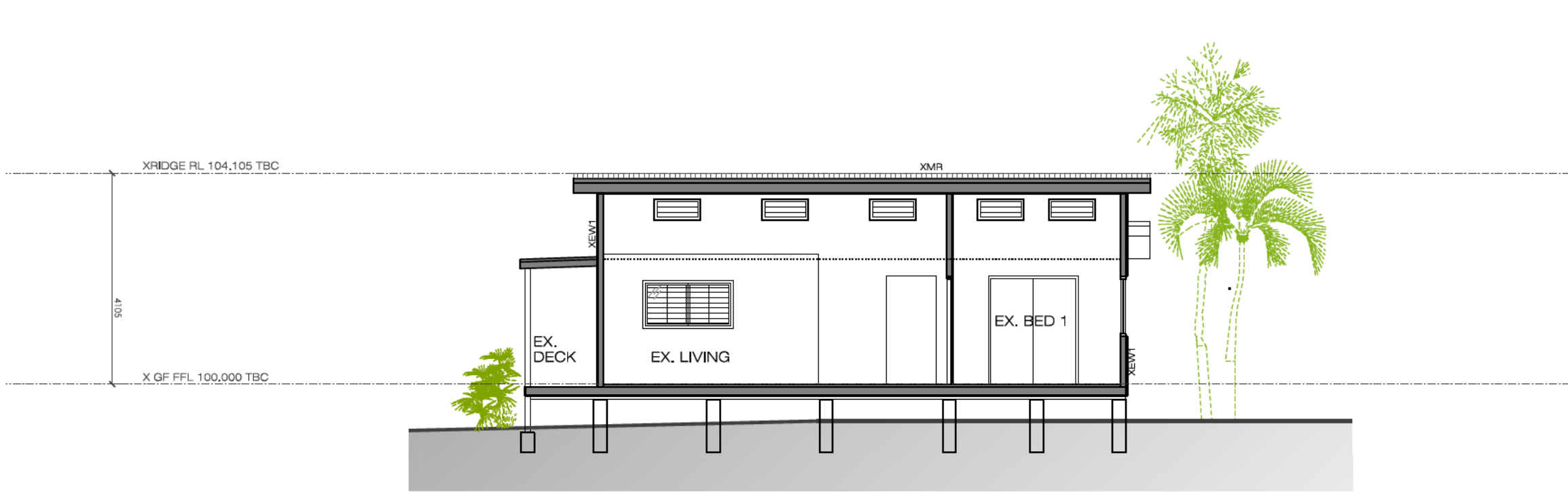
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21/08/2021  
DRAWING No: Rev:  
DA 23 A

USE FIGURED DIMENSIONS ONLY - DO NOT SCALE.

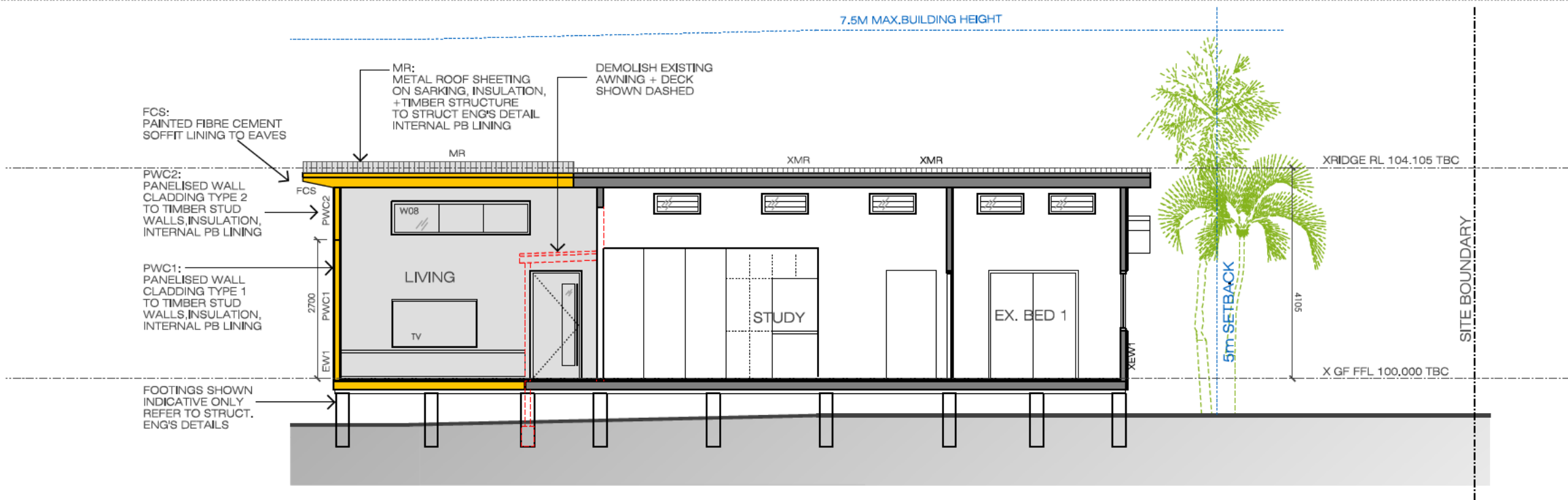
FOR EXISTING AND NEW BUILDING WORKS, CONFIRM ALL DIMENSIONS & LEVELS ON SITE PRIOR TO CONSTRUCTION.

ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SURVEY.



- KEY:
- NEW WORKS
  - NEW WORK IN SECTION
  - EXISTING TO BE RETAINED
  - EXISTING TO BE DEMOLISHED

01 | EXISTING  
SECTION A



02 | PROPOSED  
SECTION A

DA SUBMISSION

CLIENT:  
EMMA CROMBIE  
MAGERS QTRS./EBBTIDE APTS.  
MUTTONBIRD DRIVE  
LORD HOWE ISLAND  
NSW 2898

DESIGN:  
NADINE PRUCKNER  
0418 661 691

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ALTERATIONS &  
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RL REDUCED LEVEL  
RWH RAIN WATER HEAD  
RWT RAIN WATER TANK  
RT RECYCLED TIMBER  
SF PAINTED STEEL FRAMING  
SH SUN HOOD

TBC TO BE CONFIRMED  
TC TIMBER CLADDING  
TMB TIMBER  
TOG TOP OF GUTTER  
TF TIMBER FENCE  
TP TIMBER POST  
TS TIMBER SCREEN  
W WINDOW  
X\_ EXISTING \_

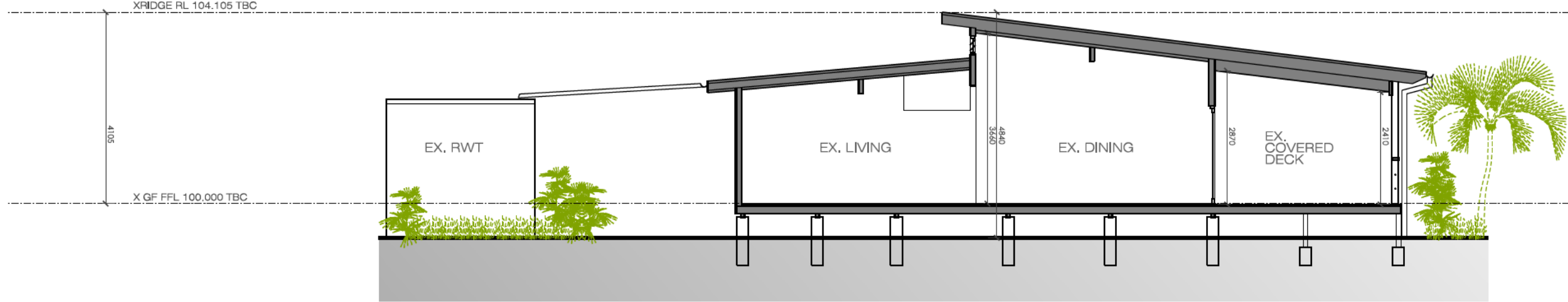
A	ISSUED FOR DA	21.08.21
P3	ISSUED FOR REVIEW	11.06.21
P2	ISSUED FOR REVIEW	05.05.21
P1	INITIAL ISSUE	19.03.21

DRAWING TITLE:  
SECTIONS 01

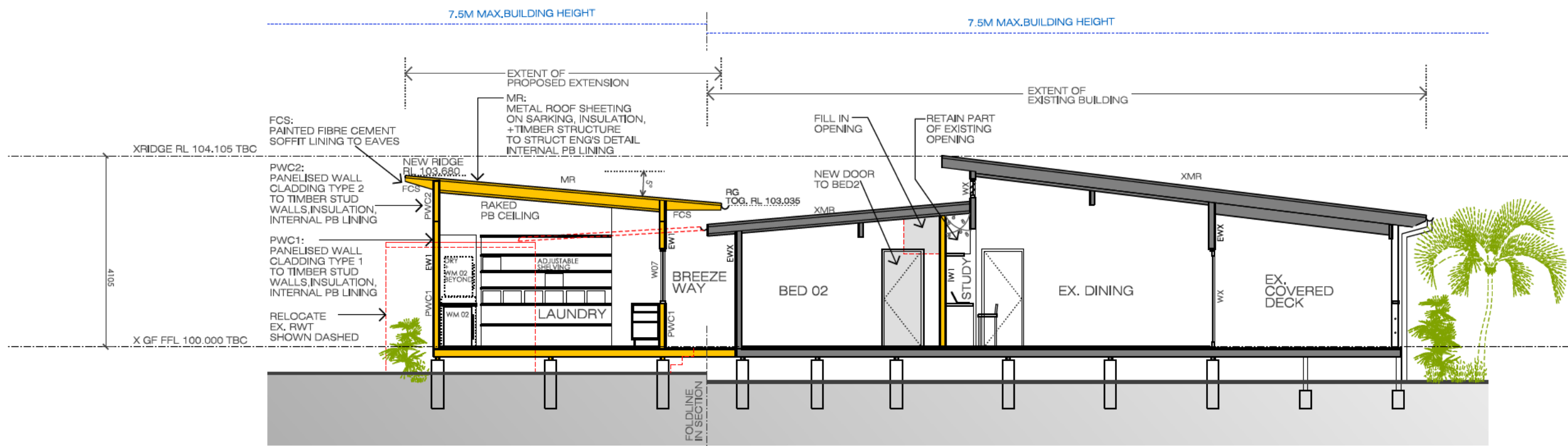
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21/08/2021  
DRAWING No: Rev:  
DA30 A

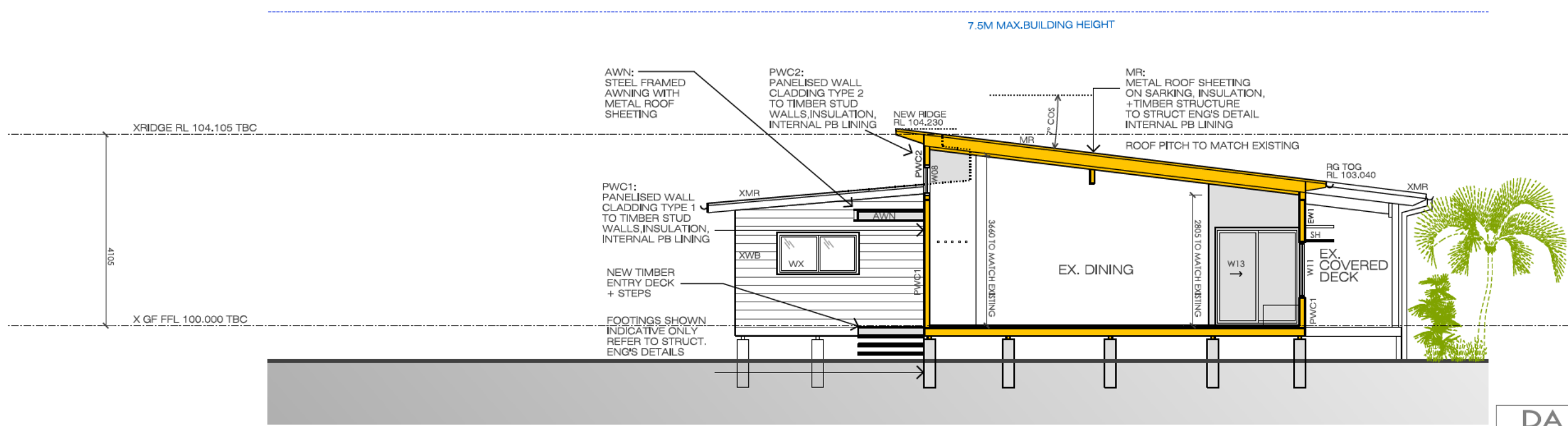




01 | EXISTING  
SECTION B



02 | PROPOSED  
SECTION B



03 | PROPOSED  
SECTION C

## DA SUBMISSION

CLIENT: EMMA CROMBIE MAGERS QTRS./EBBTIDE APTS. MUTTONBIRD DRIVE LORD HOWE ISLAND NSW 2898	DESIGN: NADINE PRUCKNER 0418 661 691	PROJECT: ALTERATIONS & ADDITIONS TO LOT 154 DP 757515 MUTTONBIRD DRIVE LORD HOWE ISLAND	KEY: AWN AWNING CPBD CUPBOARD DB DISTRIBUTION BOARD DP DOWNPIPE EW EXTERNAL WALL TYPE EX EXISTING FC FIBRE CEMENT CLADDING FCS FC SOFFIT LINING FG FIXED GLAZING	FFL FINISHED FLOOR LEVEL FT FLOOR TILE GF FROSTED GLASS LDY LAUNDRY MF METAL FLASHING MTB METAL TMB BALUSTRADE MR METAL ROOFING OF OVERFLOW PB PLASTERBOARD	PV PHOTOVOLTAIC PANEL PWC PANELISED WALL CLADDING RG ROOF GUTTER RL REDUCED LEVEL RWH RAIN WATER HEAD RWT RAIN WATER TANK RT RECYCLED TIMBER SF PAINTED STEEL FRAMING SH SUN HOOD	TBC TO BE CONFIRMED TC TIMBER CLADDING TMB TIMBER TOG TOP OF GUTTER TF TIMBER FENCE TP TIMBER POST TS TIMBER SCREEN W WINDOW X EXISTING	DRAWING TITLE: SECTIONS 02 1:100 @ A3 0 0.5 1 2 3 4 5m	21/08/2021 DRAWING No: Rev: DA31 A
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21/08/2021



DRAWING No: Rev:

DA 40 A