

PAST/PRESENT LAND USES

State the past known uses of the site: *residential*.....

State the present known uses of the site: *residential*.....

STAGED DEVELOPMENT

You can apply for development consent for only part of your proposal now, and for the remaining part/s at a later time.

Are you applying for development consent in stages? Yes No

If yes please attach:

- Information which describes the stages of your development;
- A copy of any development consents you already have which relate to your development.

PLANS OF THE LAND AND DEVELOPMENT

You need to provide a number of different plans that show what you intend to do. Step 4 of the Development Application Guide sets out which plans to provide and the details to include. Please submit 1 copy of the plans with the application. Please attach:

- A site plan of the land, drawn to scale;
- Plans or drawings of the proposal, drawn to scale and, where relevant;
- An A4 size plan of the proposed building and other structures on the site;
- A plan of any existing buildings (and uses), drawn to scale.

ENVIRONMENTAL EFFECTS OF YOUR DEVELOPMENT

To assess your proposal, we need to understand the impacts it will have. Depending upon the nature and scale of your proposal, you need to provide one or more of the statements listed below to explain the environmental effects of your proposal.

Is your proposal likely to cause a major environmental impact (e.g. designated development)?

- Yes Please attach an environmental impact statement.
 No Please attach a statement of environmental effects (SEE).

Is your proposal likely to cause have significant effect on threatened species, populations, ecological communities or their habitats?

- Yes Please attach a species impact statement.
 No

SUPPORTING INFORMATION

You can support your application with additional material such as photographs (including aerial photographs), slides and models to illustrate your proposal.

Please list what you have attached.

- *site plan*
- *existing and proposed plans*
- *proposed elevations and sections*

NOTE: It will be necessary for you to place pegs showing the location of all building extremities and height of buildings within seven days of lodging your development application. These pegs will allow inspection by Board staff at an early stage of your development assessment.

APPLICATION FEE

For development that involves a building or other work, the fee for your application is based on the estimated cost of the development. If your development needs to be advertised to the public you may also need to include an advertising fee. Clauses 246 to 263 of the Environmental Planning and Assessment Regulation 2000 provide a schedule of fees.

NOTE: Fees will be calculated in accordance with Cordell’s Building estimates and will form the basis for the fee. To save time and any delays in processing your application, please contact us if you need help to calculate the fee for your application.

Estimated cost of the development: *\$100,000*

Total fees lodged: Date: Receipt No.:

APPLICANT/S OR APPLICANT’S AGENT DECLARATION


Have you or any associated persons with a financial interest in this application in the last two years made any political donations or given any gifts to any local Board Member or Board employee? Yes No

If you ticked yes please fill out a Political Donations and Gift Disclosure Statement.

IMPORTANT NOTICE: It is an offence under the EP&A Act 1979 if you fail to disclose reportable donations and gifts.

LEASEHOLDER AUTHORISATION – All leaseholder/s of the land must sign this application.

As the leaseholder/s of the above property, I/we consent to this application.


Signature  Signature:

Name: *Pauline Skeggs* Name:

Date: *19.01.22* Date:

APPLICANT AUTHORISATION – The applicant/s or the applicant’s agent must sign the application.

I apply for consent to carry out the development described in this application. I declare that all the information given is true and correct. I also understand that, if incomplete, the application may be delayed or rejected and more information may be requested within 21 days of lodgement.

Signature:  Signature:

Name: *Pauline Skeggs* Name:

Date: *19.01.22* Date:

State the capacity in which you are signing if you are not the applicant:

PRIVACY POLICY

The information you provide in this application will enable us, and any relevant state agency, to assess your application under the Environmental Planning and Assessment Act 1979 and other applicable state legislation. If the information is not provided, your application may not be accepted.

If your application is for designated development or advertised development, it will be available for public inspection and copying during a submission period. Your application, and any attached plans will be published on the Lord Howe Island Board website. Written notification of the application will also be provided to the neighbourhood. You have the right to access and have corrected information provided in your application. Please ensure that the information is accurate and advise us of any changes.

Documentation provided with an application may also be accessed in accordance with the requirements of the Government Information Access (GIPA) Act 2009.

LODGEMENT

Before submitting your application, please ensure you have attached all the information the consent authority needs to assess your proposal. You can use the following checklist. Please place a cross in the box next to any items you have attached:

Plans

- A site plan of the land — **all applications**
- Plans or drawings of the proposal showing all dimensions — **all applications**
- An A4 size plan of the proposed building and other structures on the site - **all applications**
- A plan which is drawn to scale of all existing buildings.

Environmental effects

- An environmental impact statement for a designated development proposal and an electronic version of the executive summary
- A statement of environmental effects — **required for all applications** that are not designated development
- An environmental report — **if required under clause 42 of the LHI LEP 2010**. Contact the Board to see if you need to prepare an environmental report.
- A species impact statement
- A Basix Certificate – The Building Sustainability Index (BASIX) applies to all residential dwelling types and is part of the development application process in NSW. A BASIX certificate **MUST** be obtained for “**BASIX affected development**”. For further information please refer to www.basix.nsw.gov.au
- Electrical supply form must be completed (for new / alteration / addition to existing supply).

Staged development

- Information which describes the stages of the development
- A copy of any consents already granted for part of the development

Supporting information

- Other material to support your application, such as photos, slides and models. *Please ensure any items listed as an Advisory Note as part of the Owner Consent approval have been addressed.*

Application fee

- Your application fee — **required for all applications**.

TBC

Where to lodge your application

You can lodge your completed application form, together with attachments and fees at the Lord Howe Island Board's office.

CONTACT DETAILS FOR YOUR INFORMATION

Lord Howe Island Board

Bowker Avenue
(PO Box 5)
LORD HOWE ISLAND NSW 2898
Phone: 02 6563 2066
Fax: 02 6563 2127
Email: administration@lhib.nsw.gov.au
Website: www.lhib.nsw.gov.au

Lord Howe Island Marine Park Authority

Phone: 02 6563 2359
Fax: 02 6563 2367
Email: lordhowe.marinepark@npws.nsw.gov.au
Website: www.mpa.nsw.gov.au

Department of Infrastructure, Planning and Natural Resources – General Enquiries

Phone: 02 9228 6111
Email: infocentre@dipnr.nsw.gov.au
Website: www.dipnr.nsw.gov.au

Department of Infrastructure, Planning and Natural Resources – North Coast Office

49 Victoria Street
(PO Box 6)
GRAFTON NSW 2460
Phone: 02 6642 0622
Email: northcoast@dipnr.nsw.gov.au
Website: www.dipnr.nsw.gov.au
BASIX Certificate: www.basix.nsw.gov.au

LORD HOWE ISLAND BOARD

Statement of Environmental Effects

A Statement of Environmental Effects must be completed and submitted with your development application, this is a requirement under the *Environmental Planning & Assessment Act 1979*. The Statement of Environmental Effects report explains the likely impacts of the development proposal taking into consideration relevant planning and environmental matters. If you require any clarification about what information needs to be included, please contact the Board's office on (02) 6563 2066.

Failure to submit a completed Statement of Environmental Effects report will result in the development application being rejected or incurring unnecessary delays before the application can be determined.

APPLICANT DETAILS

Name: Pauline Skeggs

PROPOSED DEVELOPMENT

Portion/Lot No.: LOT 2 DP 1245352 Deposited Plan No.:

Lease No.:

Address: Oceanview Road, Lord Howe Island, NSW, 2898

Please tick the type/s of development you are applying for:

- | | |
|---|---|
| <input type="checkbox"/> Dwelling House | <input type="checkbox"/> Shed or Garage |
| <input checked="" type="checkbox"/> Additions to Dwelling House | <input type="checkbox"/> Dual Occupancy |
| <input type="checkbox"/> Home Business | <input type="checkbox"/> Additions to Dual Occupancy |
| <input type="checkbox"/> Commercial | <input type="checkbox"/> Subdivision including Boundary Realignment |
| <input type="checkbox"/> Other – please describe: | |

DEVELOPMENT DESIGN ATTRIBUTES

EXISTING BUILDINGS

What buildings and/or structures already exist on the subject site? Existing structures located on the subject site (including their gross floor area where applicable) as well as adjoining properties need to be shown on a site plan. Please show floor space.

The site contains an existing main dwelling (125 sqm internal) and an existing attached flat (49.5 sqm internal). The development application proposes a new 30 sqm (internal) extension to the existing attached flat. Please refer to site plan A00 and proposed floor plan D01 for further information.

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DEVELOPMENT CONSENTS

If known, please list previous development and building approvals for the last 10 years which are considered relevant to this application. If necessary please consult Board staff.

DA Number	Development Description	Date of Consent
	previous DA was submitted in 2004	

OWNERS CONSENT

Please provide the reference number for the Owners Consent application. Please confirm that all conditions of owners consent have been met for this development application.

The owner's consent is being submitted/ reviewed in conjunction with the DA as per the Board's advice.

DEVELOPMENT REQUIREMENTS

DWELLINGS/RESIDENTIAL

Does your development comply with the **maximum gross floor area** and the **minimum dwelling area** (under Clause 20 & 23 LHI Local Environmental Plan 2010)? If yes, this must be demonstrated below.

Yes, the proposed dwelling is no more than 300 square metres (existing dwelling and flat plus proposed flat extension totals 204.5 sqm). 15% of the total allotment area (6152sqm) is 922.8 sqm therefore the total area of proposed works is compliant. The total area of the allotment is at least the minimum dwelling area. The proposed dwelling is erected on a part of the allotment that does not have any significant native vegetation.

Please specify if your development complies with the enlargements or extensions of a dwelling (under clause 27 LHI Local Environmental Plan 2010)? If yes, this must be demonstrated below.

Yes, the proposed gross floor area of the dwelling is no more than 300 square metres (existing dwelling and flat plus proposed flat extension totals 204.5 sqm). The proposed extension will not result in the removal of any significant native vegetation. At least 50 percent of the total area of the allotment be comprised of landscaped areas and that various species of plants that are native to the island and common to the locality be retained or planted on at least 35 percent of the total area of the allotment.

COMMERCIAL

Please specify if your development complies with the requirements in Clause 22 for tourist accommodation, staff accommodation and commercial premises? If yes, this must be demonstrated below.

NA

ALL BUILDINGS – MAXIMUM BUILDING HEIGHT

Please specify if your development complies with the maximum building height (under clause 29 LHI LEP 2010)? If yes, this must be demonstrated below.

Yes, the existing ridge heights will remain the same.

SUBDIVISION

Please specify if your development complies with the subdivision requirements under clause 21 of LHI LEP 2010? If yes, this must be demonstrated below.

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NA
.....
.....

ZONING

Does your development meet the objectives of the zone in which the site is in? Please provide how the development meets these objectives (clause 13-19 LHI LEP 2010).

Yes, the proposed extension is small in scale (30sqm internal), will blend seamlessly with the existing dwelling, does not impact any native vegetation or species and is set back approximately 7.5m from the nearest boundary. The site is currently cleared.
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.....

ENERGY EFFICIENCY

Does the development achieve the minimum BASIX requirements? To determine whether a BASIX certificate needs to be submitted with your application, please refer to www.basix.nsw.gov.au/information/index.jsp. Each development application for a residential dwelling and each development application for alterations and additions must have a BASIX certificate.

Yes, please refer to BASIX certificate for details.
.....
.....

BOUNDARY SETBACKS

How far is your development setback from the front boundary?

Approximately 50m.
.....
.....

How far is your development setback from the side and rear boundaries?

The extension is set back 7.5m from the nearest side boundary.
.....
.....

Does the development comply with the Board’s minimum setback requirements? If no, provide reasons why the development should be supported?

Yes.
.....
.....
.....

LANDSCAPING

Please specify if the development complies with the landscaping requirements for Zone 2 land (clause 33 LHI LEP 2010)? If yes, this must be demonstrated below.

The site of the proposed extension is currently cleared and there will be no significant adverse impact on the existing landscaped character and dispersed pattern of housing in that zone.

LAND ADJACENT TO ZONE 7 OR 8

Please specify if your development complies with the requirements for land adjacent to Zone 7 or 8 (under clause 34 LHI LEP 2010)? If yes, this must be demonstrated below.

NA

CONSTRAINTS

FORESHORE DEVELOPMENT

Is your land within the foreshore development area? If yes, please how the development complies with foreshore development requirements (Clause 35 LHI LEP 2010).

NA

AIRCRAFT NOISE

Is your land subject to the Australian Noise Exposure Forecast? If yes, the development may need to include an Acoustic Report with the application.

NA

FLOODING

Is your land flood prone? If yes, what measures will be undertaken to ensure that:

- water is efficiently drained from your property without impacting upon any adjoining neighbours.
- the proposed development will not be adversely affected by flooding.

NA

HERITAGE

Is the development listed as a heritage item, located in a heritage conservation area or located adjacent to any known heritage item or archaeological site? If yes, a Statement of Heritage Impact and referral to NSW Heritage Branch may be required.

NA

SIGNIFICANT VEGETATION

Will the development require the removal of any vegetation in areas mapped as 'significant vegetation' in LHI LEP 2010 Sheet 3 as well as the proposed 'significant vegetation' map on exhibition? If yes, the proposed development may be prohibited.

No, the proposed extension does not impact any native vegetation.

RETENTION OF TREES AND LANDSCAPING

Will the development require the removal of any native trees and/or shrubs? If yes, please specify how many trees/shrubs need to be removed and indicate their location on the site/landscape plan.

No, the proposed extension does not impact any native trees or shrubs.

RECOVERY PLANS AND HABITAT AREAS

Is the development consistent with approved Recovery Plans for the island? Does the development have any impacts on threatened species? If the answer to this question is yes then an Environmental Report, a seven part test or a Species Impact Statement may be required (Clause 42 of LHI Local Environment Plan 2010). It is important to remember that it is illegal to clear, modify, underscrub or remove any vegetation within areas of identified habitat.

NA

Can the development be sited to retain existing vegetation? If no, explain why this is not possible.

NA

Do you intend to provide any landscaping to compensate for the removal of vegetation? If yes, please include a landscape plans specifying the species to be used. If no, please explain why supplementary landscaping is not necessary.

The development does not require the removal of any vegetation.

VISUAL APPEARANCE

Explain how the external appearance of the development has been designed to take into consideration of the adjoining properties and character of the area.

Visually the new extension should blend seamlessly with the existing dwelling and flat by maintaining existing floor levels, ridge-lines, external cladding (James Hardie) and roofing (COLORBOND).

VISUAL AND ACOUSTIC PRIVACY

Describe how the development has been designed to reduce any possible impact on the visual or acoustic privacy of adjoining properties. Consider the use of screening, landscaping, offsetting windows and balconies.

Appropriate soundproofing materials will be used in construction and external windows have been kept to a minimum and are not located near neighbouring properties. External blinds allow for additional privacy.

SOLAR ACCESS

Has the development been designed so that the main indoor and outdoor living spaces face north and east to take advantage of solar access? If yes, please specify the parts of the dwelling facing north and east.

Yes, the main dining area and master bedroom as well as proposed deck all take advantage of North solar access.

Does the development overshadow adjoining properties?

No

VIEWS

Does the development obstruct any views from adjoining properties?

No

Is it possible to site the development to minimise the obstruction of views? If no, explain why this is not possible.

NA

PARKING AND TRAFFIC

How many on-site parking spaces are existing and how many will result from the proposed development?

The proposed development does not impact parking.

Does the development provide adequate manoeuvring areas without impacting on existing access and parking arrangements? If no, please justify why the development should be supported.

Yes

EARTHWORKS AND RETAINING WALLS

Does the site need to be excavated or filled? If yes, specify the maximum retaining wall heights and type of construction. Retaining wall details need to be shown on the development plans.

An existing retaining wall will be rebuilt and extended as per plans, but no further excavation will be required.

WASTEWATER MANAGEMENT

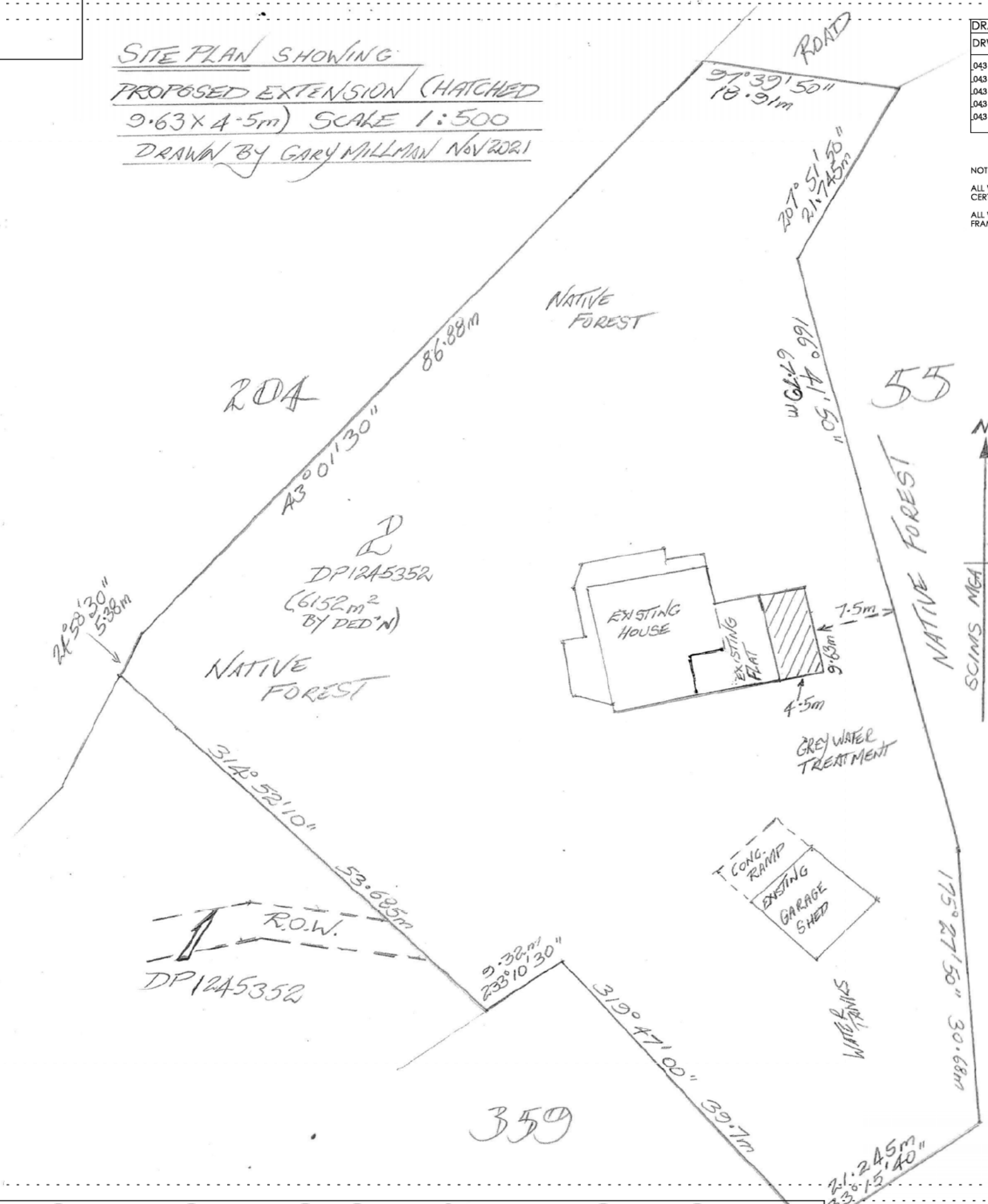
Have you completed the Lord Howe Island Board Onsite Wastewater Management System checklist for Applicants and submitted with this application?

Yes

SITE PLAN SHOWING
PROPOSED EXTENSION (HATCHED
9.63 X 4.5m) SCALE 1:500
DRAWN BY GARY MILLMAN NOV 2021

DRAWING REGISTER:		ISSUE DATE+REVISION	
DRWG NO.	DRWG TITLE	SCALE	10.01.22
043 DA-A-00	SITE PLAN	1:500@A3	DA SUBMISSION
043 DA-D-01	PROPOSED FLOOR PLAN	1:100@A3	DA SUBMISSION
043 DA-D-02	PROPOSED ROOF PLAN	1:100@A3	DA SUBMISSION
043 DA-E-01	PROPOSED ELEVATIONS- NORTH & SOUTH	1:100@A3	DA SUBMISSION
043 DA-E-02	PROPOSED ELEVATION - EAST	1:100@A3	DA SUBMISSION
	PROPOSED SECTION		

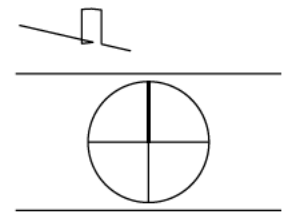
NOTE:
 ALL WORKS TO BE COMPLETED IN ACCORDANCE WITH BASIX CERTIFICATE A215535
 ALL WORKS TO COMPLY WITH THE BCA AND AUSTRALIAN STANDARD FOR RESIDENTIAL TIMBER FRAMED CONSTRUCTION (AS 1684)



DATE	ISSUE + REVISIONS
19.01.22	A DA

PRIOR TO THE COMMENCEMENT OF WORK, SURVEY AND VERIFY ALL GRIDLINES. CHECK ALL DIMENSIONS ON SITE. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE. COMPLY WITH RELEVANT AUTHORITIES REQUIREMENTS. COMPLY WITH BUILDING CODE OF AUSTRALIA. COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS. COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY ROOM ON FIRE.

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PROJECT
 PAULINE SKEGGS EXTENSION
 DP1245352
 LORD HOWE ISLAND, NSW, 2898

CLIENT
 PAULINE SKEGGS
 02 6563 2292
 guavapatch@hotmail.com

DRAWING
 SITE & ROOF PLAN

PROJECT NO. 043	DRAWN CM
SCALE@A3 1:500	
DWG NO. A-00	ISSUE DA

NOT FOR CONSTRUCTION

DIMENSION LEGEND

OVERALL	
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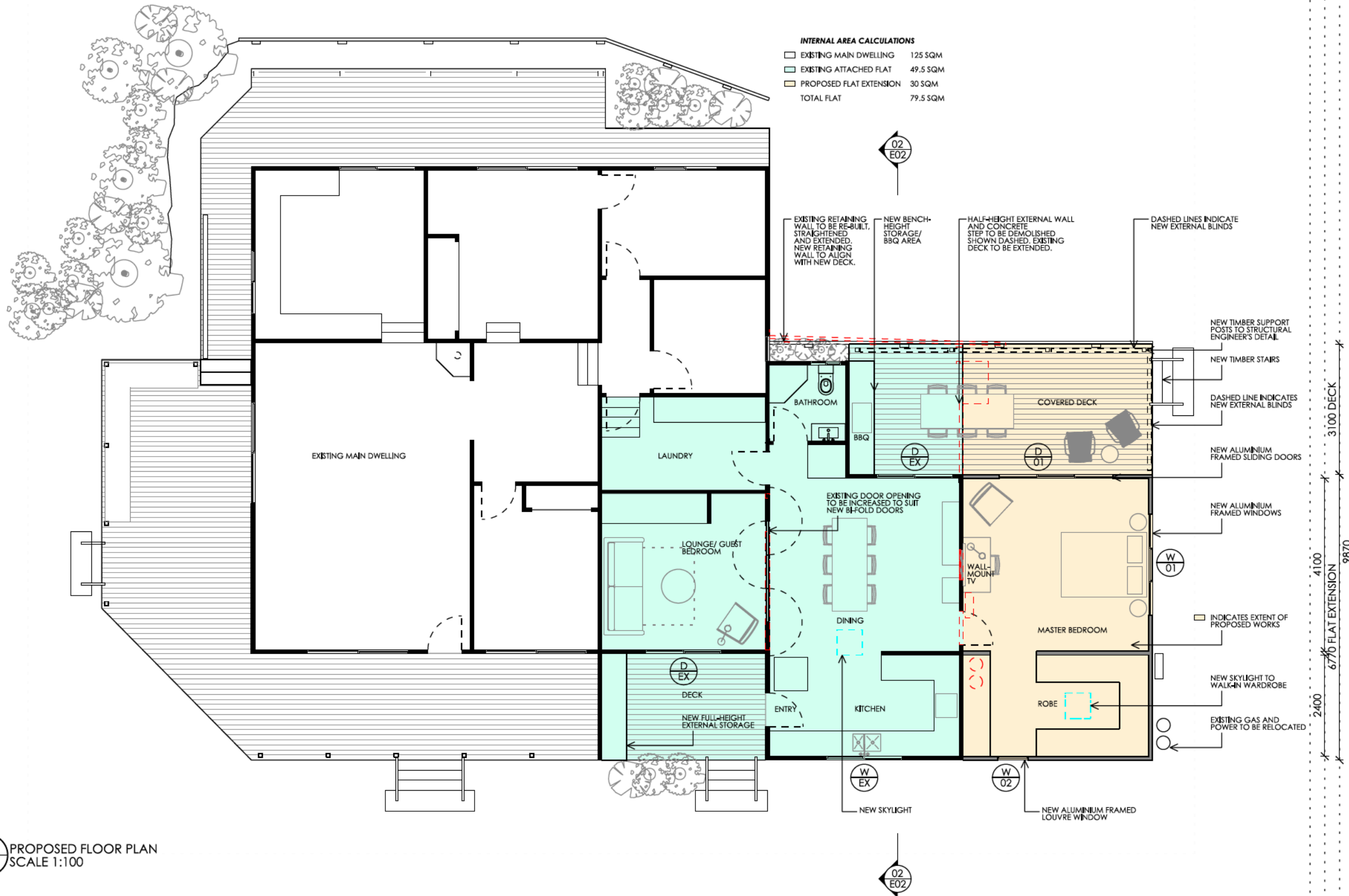
EXISTING DWELLING

1900

7200

4600
EXISTING FLAT

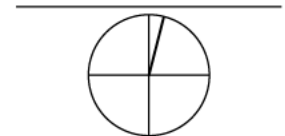
4500
FLAT EXTENSION



DATE	ISSUE + REVISIONS
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DRAWING
 PROPOSED FLOOR PLAN - FLAT EXTENSION

PROJECT NO. 043	DRAWN CM
SCALE@A3 1:100	
DWG NO. DA-D-01	ISSUE DA

NOT FOR CONSTRUCTION

DIMENSION LEGEND

OVERALL

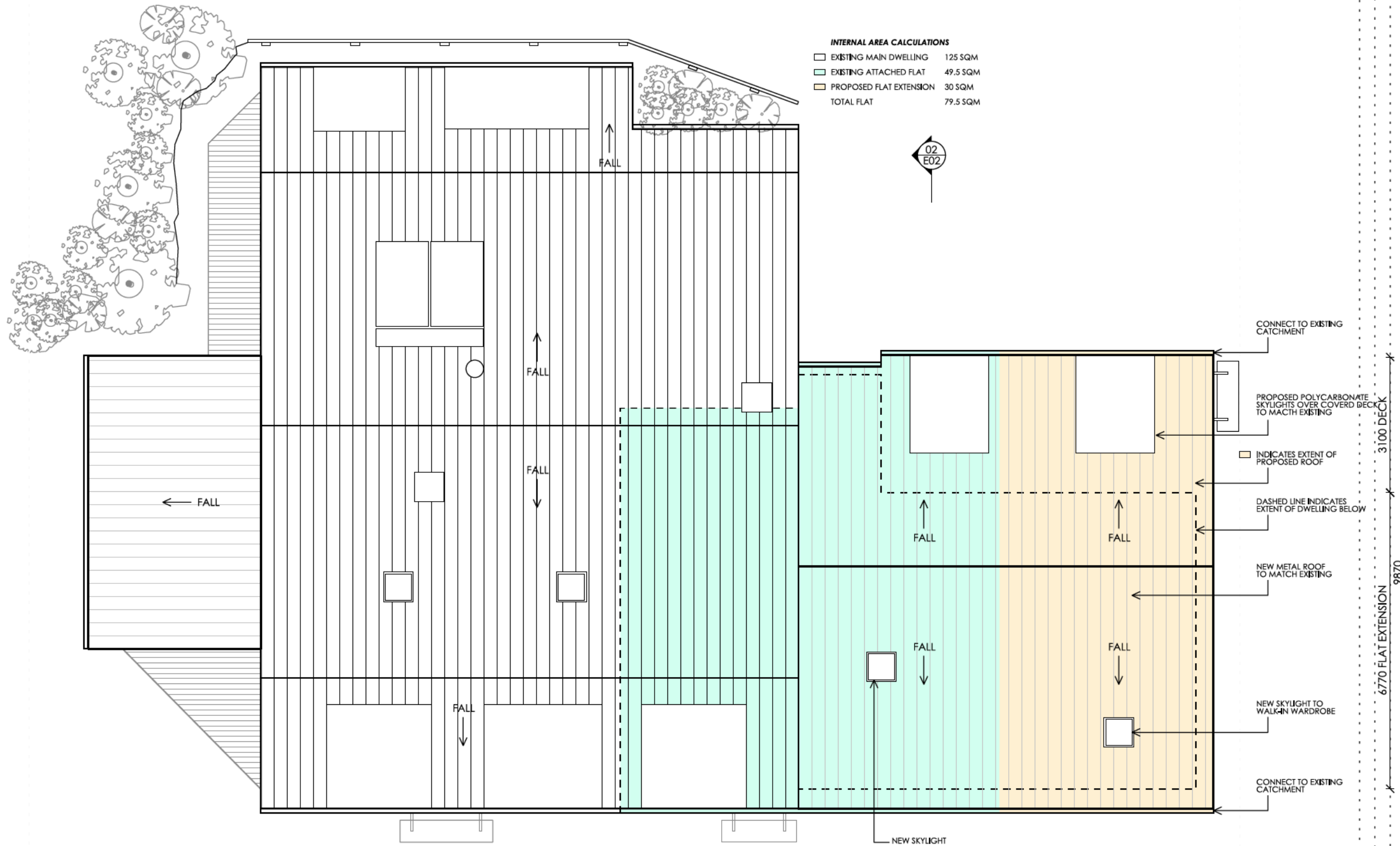
EXISTING DWELLING

1900

7200

4600
EXISTING FLAT

4500
FLAT EXTENSION



INTERNAL AREA CALCULATIONS

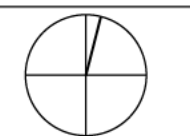
EXISTING MAIN DWELLING	125 SQM
EXISTING ATTACHED FLAT	49.5 SQM
PROPOSED FLAT EXTENSION	30 SQM
TOTAL FLAT	79.5 SQM

02
E02

DATE	ISSUE + REVISIONS
19.01.22	A DA

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DRAWING
 PROPOSED ROOF PLAN

PROJECT NO. 043	DRAWN CM
SCALE@A3 1:100	
DWG NO. DA-D-02	ISSUE DA

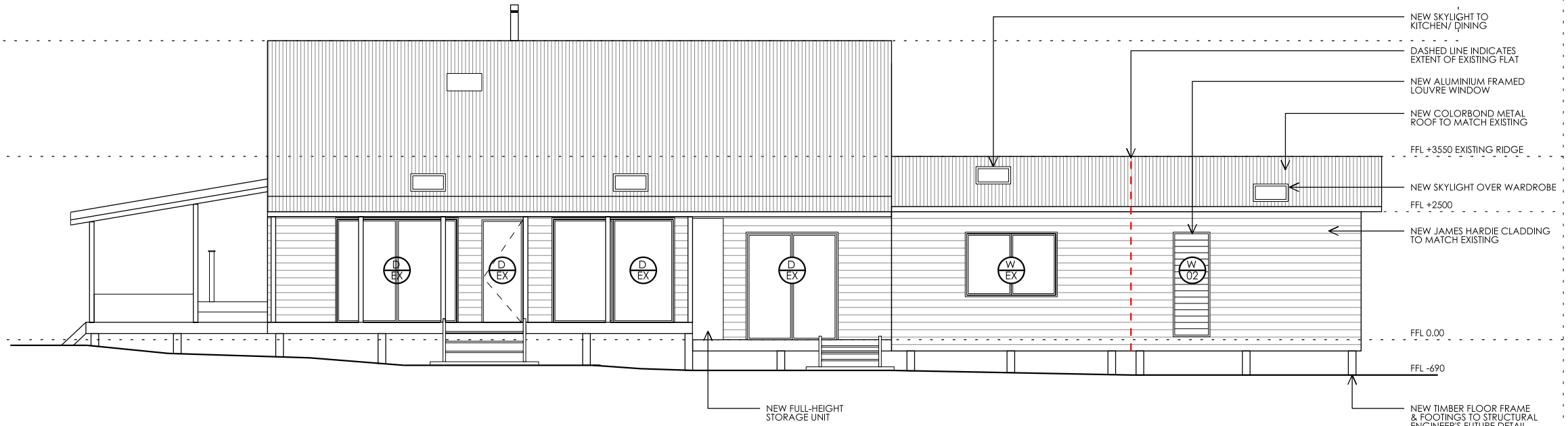
01 PROPOSED ROOF PLAN
SCALE 1:100

NOT FOR CONSTRUCTION

DIMENSION LEGEND

OVERALL

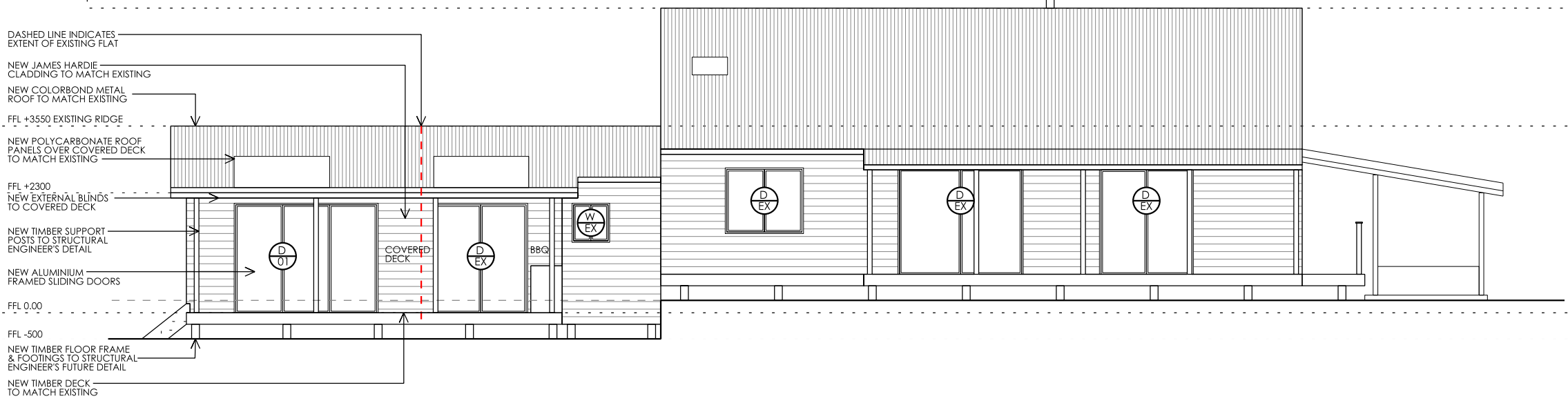
EXISTING DECK EXISTING DWELLING EXISTING FLAT 4500 FLAT EXTENSION



- NEW SKYLIGHT TO KITCHEN/ DINING
- DASHED LINE INDICATES EXTENT OF EXISTING FLAT
- NEW ALUMINIUM FRAMED LOUVRE WINDOW
- NEW COLORBOND METAL ROOF TO MATCH EXISTING
- FFL +3550 EXISTING RIDGE
- NEW SKYLIGHT OVER WARDROBE
- FFL +2500
- NEW JAMES HARDIE CLADDING TO MATCH EXISTING
- FFL 0.00
- FFL -690
- NEW TIMBER FLOOR FRAME & FOOTINGS TO STRUCTURAL ENGINEER'S FUTURE DETAIL
- NEW TIMBER FLOOR FRAME & FOOTINGS TO STRUCTURAL ENGINEER'S FUTURE DETAIL

01 PROPOSED ELEVATION - SOUTH
SCALE 1:100

4500 FLAT EXTENSION EXISTING FLAT EXISTING DWELLING EXISTING DECK



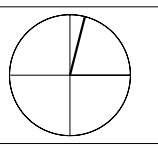
- DASHED LINE INDICATES EXTENT OF EXISTING FLAT
- NEW JAMES HARDIE CLADDING TO MATCH EXISTING
- NEW COLORBOND METAL ROOF TO MATCH EXISTING
- FFL +3550 EXISTING RIDGE
- NEW POLYCARBONATE ROOF PANELS OVER COVERED DECK TO MATCH EXISTING
- FFL +2300
- NEW EXTERNAL BLINDS TO COVERED DECK
- NEW TIMBER SUPPORT POSTS TO STRUCTURAL ENGINEER'S DETAIL
- NEW ALUMINIUM FRAMED SLIDING DOORS
- FFL 0.00
- FFL -500
- NEW TIMBER FLOOR FRAME & FOOTINGS TO STRUCTURAL ENGINEER'S FUTURE DETAIL
- NEW TIMBER DECK TO MATCH EXISTING

02 PROPOSED ELEVATION - NORTH
SCALE 1:100

DATE	ISSUE + REVISIONS
19.01.22	A DA

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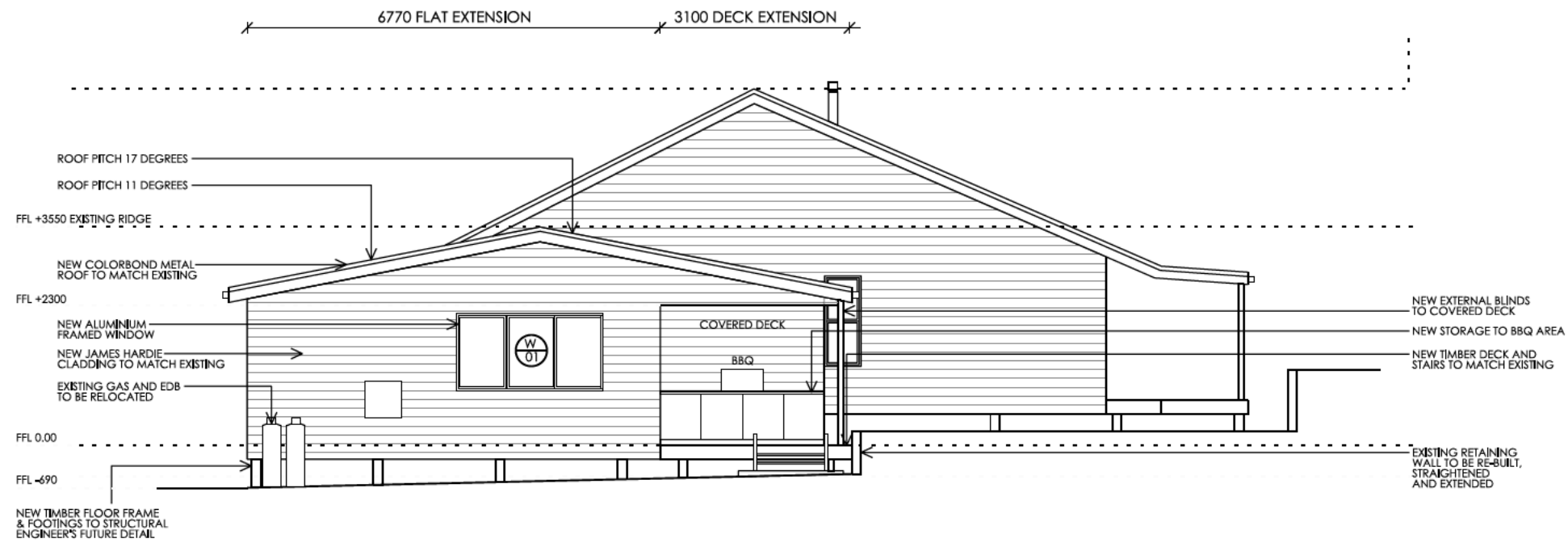
DRAWING
PROPOSED ELEVATIONS - NORTH & SOUTH

PROJECT NO. 043	DRAWN CM
SCALE@A3 1:100	
DWG NO. DA-E-01	ISSUE DA

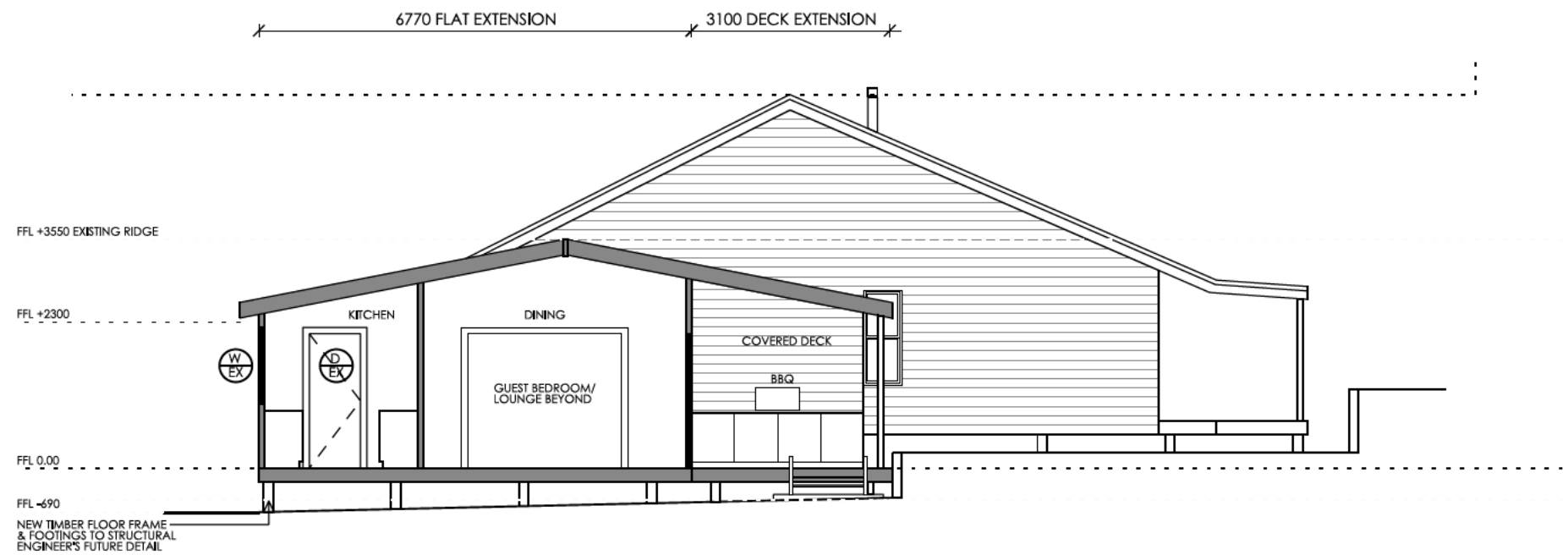
NOT FOR CONSTRUCTION

DIMENSION LEGEND

OVERALL



01 PROPOSED ELEVATION - EAST
SCALE 1:100

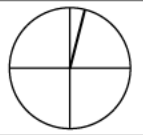


02 PROPOSED SECTION
SCALE 1:100

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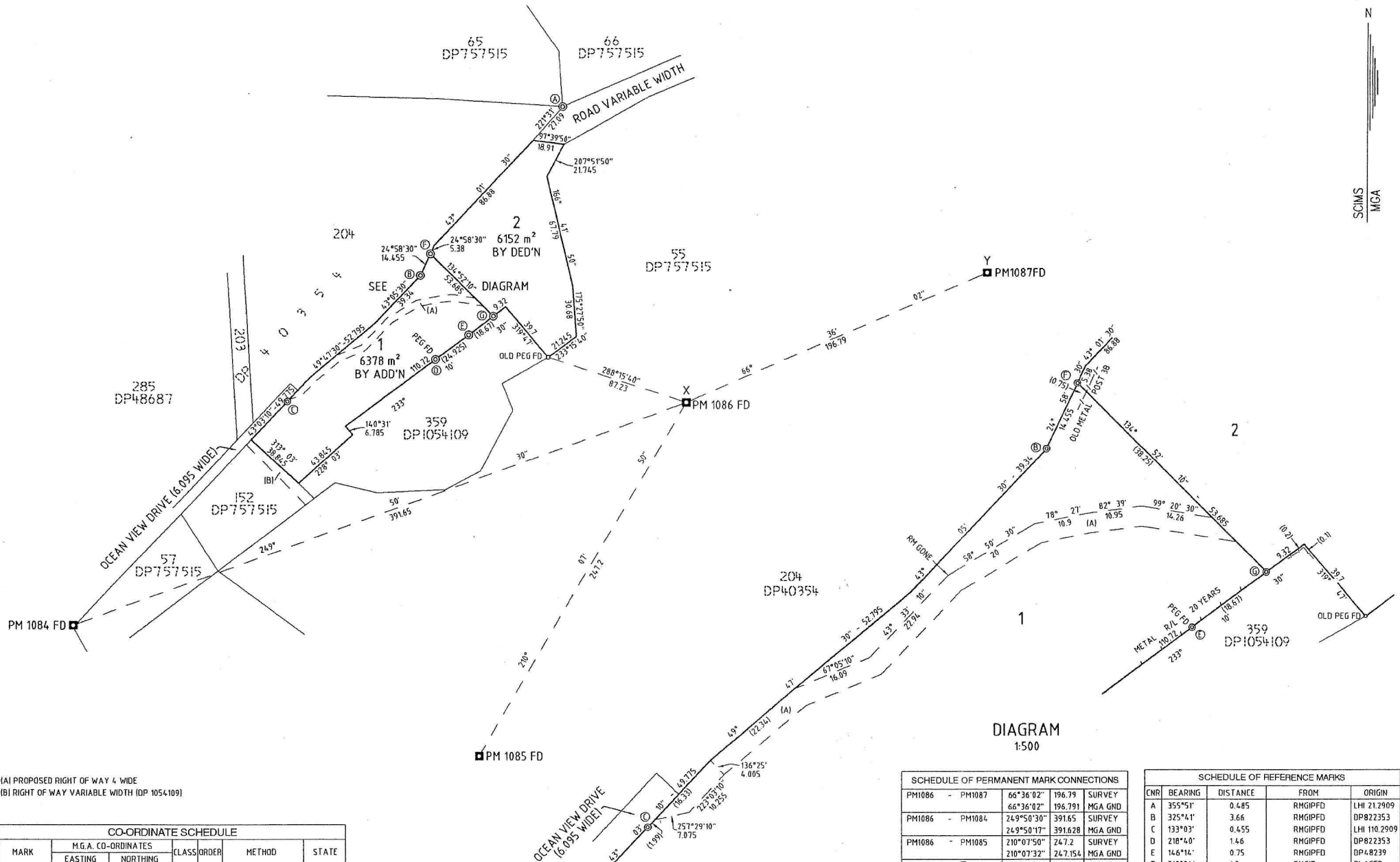
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DRAWING
PROPOSED ELEVATION - EAST
PROPOSED SECTION

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DWG NO. DA-E-02	ISSUE DA

NOT FOR CONSTRUCTION



(A) PROPOSED RIGHT OF WAY 4 WIDE
 (B) RIGHT OF WAY VARIABLE WIDTH (DP 1054109)

CO-ORDINATE SCHEDULE						
MARK	M.G.A. CO-ORDINATES		CLASS	ORDER	METHOD	STATE
	EASTING	NORTHING				
PM1084	505588.239	6512424.375	A	1	SCMS	FOUND
PM1085	505831.774	6512345.622	B	4	SCMS	DISTURBED
	505831.685	6512345.597	U	U	TRAVERSE	SURVEY
	505955.719	6512559.305	C	4	SCMS	FOUND
PM1087	506136.252	6512637.427	A	1	SCMS	FOUND

SOURCE: M.G.A. CO-ORDINATES ADOPTED FROM SCMS ON 23 MAY 2018
 M.G.A. COMBINED SCALE FACTOR = 0.999593 MGA ZONE 57 MGA DATUM GDA 94


SCHEDULE OF PERMANENT MARK CONNECTIONS					
PM1086	-	PM1087	66°36'02"	196.79	SURVEY
			66°36'02"	196.791	MGA GND
PM1086	-	PM1084	24°50'30"	391.65	SURVEY
			24°50'10"	391.628	MGA GND
PM1086	-	PM1085	210°07'50"	247.2	SURVEY
			210°07'32"	247.154	MGA GND
PM1084	-	⊙	43°19'10"	186.39	SURVEY
PM1087	-	⊙	264°58'20"	297.68	SURVEY

SCHEDULE OF REFERENCE MARKS				
CNR	BEARING	DISTANCE	FROM	ORIGIN
A	355°51'	0.485	RMGIPFD	LHI 21.2909
B	325°41'	3.66	RMGIPFD	DP822353
C	133°03'	0.455	RMGIPFD	LHI 110.2909
D	218°40'	1.46	RMGIPFD	DP822353
E	146°14'	0.75	RMGIPFD	DP48239
F	319°04'	1.3	RMGIP	PLACED
G	135°23'	1	RMGIP	PLACED

Surveyor: MARTIN PUNDYK
 Date of Survey: 20 MAY 2018
 Surveyor's Ref: 7466-40
 2018 177100 (567) PARTIAL SURVEY

PLAN OF
 SUBDIVISION OF
 LOTS 357 AND 358 DP 1054109

LGA: UNINCORPORATED
 Locality: LORD HOWE ISLAND
 Reduction Ratio: 1:1500
 Lengths are in metres.

Registered
 3.08.2018

DP1245352

Req:R036343 /Doc:DP 1245352 P /Rev:06-Aug-2018 /Sts:SC.OK /Pgs:ALL /Prt:07-Aug-2018 03:30 /Seq:1 of 3
 Ref:1.r: eplan-eplan FOR SURVEYORS USE ONLY /Src:W

Lord Howe Island Board

Onsite Wastewater Management Systems

Checklist for Applicants to Streamline Development Consent

The installation of onsite wastewater management systems on Lord Howe Island requires development consent as they are not listed as exempt development under the LHI Local Environmental Plan 2010.

A streamlined assessment process has been put in place for minor developments that, in the opinion of the Board, are of minimal social and environmental impact.

This checklist has been developed to ensure applicants provide all necessary information to support their application. If your answers match those required for all of the 3 stages in the form, then the application will be deemed to be minor and can be determined by the CEO under delegated authority. Applications that fall outside of this will need to be considered under the standard development application process.

The Board will accept Owner Consent (OC) and Development Application (DA) information as one (1) submission, however the DA will not be able to be lodged until the OC is approved. You will receive written advice when the OC is approved, at which time you will need to attend the Board offices and pay the DA lodgement fee. Subject to the provision of the adequate information, Owner Consent will be processed in 5 working days and Development Application within 15 working days.

Pre-Lodgement Meeting

Have you had a pre-lodgement meeting with LHIB staff?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If yes, have you incorporated comments and suggestions into your submission?	<input type="checkbox"/> Yes <input type="checkbox"/> No

Owner Consent Requirements – Please include information below in the application

Stage	Forms, Plans	
1	Have you completed an OC application form (incl signatures from all lessees)?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Have you provided a scaled site plan showing the lease, system and disposal areas?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
All answers to Stage 1 must be 'Yes' before proceeding to Stage 2.		
2	Environment & Heritage	
	Is the treatment or disposal area mapped as containing significant native vegetation?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Is construction access to the area for the system through significant native vegetation?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	If a heritage item (as per Schedule 2 of the LHI Local Environmental Plan 2010) is located on the land, then is the system located within 10m of the Heritage item?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Is the treatment or disposal area mapped as flood hazard? <i>The LHIB holds flood mapping GIS layers.</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Is the disposal area an insufficient size for the soil type? <i>Note disposal areas should not be within areas of SNV, heritage and flooding.</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
2	System	
	Is the application for a commercial wastewater management system?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>If all Stage 2 answers are 'No', and you wish to lodge a DA at this stage, proceed to Stage 3.</p> <p>If all Stage 2 answers are 'No', and you wish to only lodge Owner Consent (OC) at this stage, the OC application can be determined by the CEO.</p> <p>If any answer to Stage 2 answer is 'Yes', then the application will be considered under the standard DA process. Please contact LHIB to discuss.</p>		

Development Application Requirements – Please include information below in the application

Stage	Forms, Plans	
3	Wastewater Mana	
	Have you completed a Development Application form?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Have you provided a site plan & soil plan (including plans from the supplier, irrigation area, lease boundaries, vegetation, underground pipes, pumps, tanks, buffer distances)?	<input type="checkbox"/> Yes <input type="checkbox"/> No
	Is the system from the list of LHIB preferred suppliers–Truewater, Rootzone, Earthsafe or Supertreat?	<input type="checkbox"/> Yes <input type="checkbox"/> No
	Is the system being installed in full compliance with the NSW Health accreditation?	<input type="checkbox"/> Yes <input type="checkbox"/> No

The Wastewater Management System was updated recently. Please refer to DA 218.03 in relation to Stage 3 Requirements. As there are no additional bedrooms, there should be no added pressure on current system.

If the system is not from a preferred supplier, is it accredited with NSW Health?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Design – to be completed by your supplier	
Does the proposal meet the LHIB Onsite Wastewater Management Strategy?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Does the design meet the domestic performance standards in Table 5.1.1?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Has your supplier calculated the predicted daily wastewater load on the system & is this included in your DA?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Has the soil type & presence of any subsoil barriers on the site been checked?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Has your supplier calculated the water & nutrient balance for your site & is it in the DA?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If your system has a pump to move wastewater, has your supplier assessed the pumping heights against the pump capacity & included this in your DA?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Where a wastewater pipe goes under a road or vehicle track, has the supplier ensured it will be buried at least 500mm?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Has the irrigation system for effluent disposal being specifically designed for your property and taken consideration of your specific soil types?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Does the irrigation system include a flushing point?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is there adequate disposal area for the treated effluent?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Does the proposed system only use sub-soil or dripper irrigation?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Does the proposed system include a visual alarm which is visible on approach to the dwelling and is it shown on the plans?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Site Arrangements	
Is the treatment area and disposal area on the same lease? <i>If No, you will need a written agreement with the other leaseholder(s) permitting the disposal of effluent.</i>	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is the disposal area more than 20m from all neighbouring property boundaries? <i>If No, you will need a written agreement with neighbouring leaseholder(s) incl in application.</i>	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is the system or disposal area more than 100m from permanent surface waters?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is the system & disposal area more than 50m from a well\bore used for human supply?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is the system or disposal area more than 20m from non-permanent water ways (eg. drainage gullies or channels)?	<input type="checkbox"/> Yes <input type="checkbox"/> No
For surface irrigation, is the irrigation area not used for food production?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Is the irrigation area unaffected by flooding? <i>The LHIB holds flood mapping GIS layers.</i>	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is the irrigation area unaffected by stormwater from above?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is the property more than 1,500sqm in size?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Based on 2 people for the 1 st bedroom and 1 person\ bedroom for remaining bedrooms in the dwelling, are there less than 10 people being serviced by the proposed system?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Have you provided: <ul style="list-style-type: none"> • Statement of warranty and service life; • Quality Assurance Certification; • Installation Manual; • Service Manual for use by service technicians, • Household Operators Manual • Service Report Form suitable for use by service technicians; • Engineering Drawings on A3 format & system specifications; • A4 site plans showing location of system and associated irrigation areas; • Accreditation from NSW Health (if not from an LHIB preferred supplier); and • Service agreement with the agent who will maintain the systems. 	<input type="checkbox"/> Yes <input type="checkbox"/> No
If Stage 3 answers are 'Yes', the application can be determined by the CEO. If any Stage 3 answer is 'No', then the application will be considered under the standard DA process. Please contact LHIB to discuss.	
<u>Office use only</u>	
Approved by:	Date received:
Signature:	Date approved: